



**DJR**  
ARCHITECTURE



WHITTIER ALLIANCE  
MEETING #2

04.21.20

**2316**  
**4th Avenue S**  
Minneapolis, Minnesota

19-068.00

Project Information

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## 2316 4th AVENUE S, MINNEAPOLIS, MINNESOTA

### PROJECT NARRATIVE

The proposed apartment building is located in the Washburn Fair Oaks District of the Whittier neighborhood of Minneapolis. The main elevation faces S 4th Avenue and Interstate 35W close to the E 24th Street intersection. The site is currently zoned C2 and is located in the Washburn Fair Oaks Historic District. The Future Land Use map notes this site as Public, Office & Institutional Use with an Interior 3 built form. The proposed building will redevelop existing surface parking lots, storage areas, as well as a one-story office building.

The proposed project provides 74 units distributed over floors 1-4, with 24 enclosed parking spaces located on the alley side of the first floor. The building has ample amenity space for the residents at Level 1, as well as four walkout units on 4th Avenue to enliven the street. The 74 units will consist of studios apartments. Each unit will have its own bathroom and kitchen.

Due to its location in the Washburn Fair Oaks Historic District, the design of the building is a modern interpretation of the historic design aesthetics of the area. Brick will be the primary material used on the street facing elevation. Brick patterns, and color changes will be used to add interest to the brick elevations. The windows used in the project also have a similar language as

those located within the District. Canopies over the walkout units and the main entrance add depth to the building facade, and partially shelter the tenants. Ship lap siding, of a complementary color to the brick, is used on the secondary elevations.

#### Required Applications:

- Variance to provide over 50% compact spaces
- Parking Variance

Parcels: 3402924110149

### PROJECT RECAP

#### Zoning Recap

Current Primary Zoning:	C2
Historic District:	Washburn Fair Oaks
2040 Land Use:	Public, Office & Institutional
2040 Built Form:	Interior 3

#### Site

Total Area -	20,764 SF (0.48 acres)
*Based on Hennepin Co. Data Verify w/ Survey	
Building Footprint -	13,550 SF
Impervious Site Area -	15,420 SF 74.3%
Pervious Site Area -	5,344 SF 25.7%

#### FAR

Allowed FAR	1.7 Basic 2.04 W/bonus for enclosed parking
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Allowed New Construction	42,338 SF
Proposed New Construct.	42,317 SF

#### Unit Recap

New Construction (2316 4th Avenue S)	
Studios	74
Total Bedrooms	74

#### Parking (New & Existing)

Parking Required	37 Stalls
.5*(74 bedrooms)	
Parking Provided	24 Stalls

#### Building Height

C2 Allowed	4 Stories, 56'-0"
Proposed	4 Stories, 48'-0"





1- Fair Oaks Apartment Homes



2- Bauhaus Flats



3- 2101 3rd Avenue S



4- Wayside Family Treatment Center



5- Stevens Community Apartments



6- Hennepin Schools



Washburn Fair Oaks Historic District



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Washburn Fair Oaks  
Historic District





1- Hennepin Schools



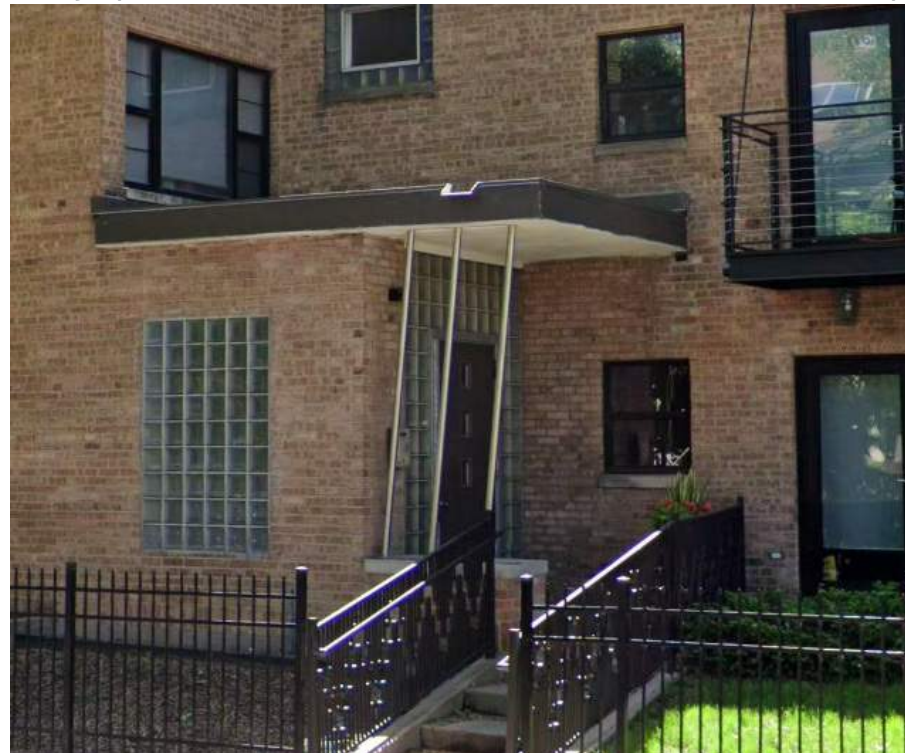
2- Stevens Community Apartments



3- Fair Oaks Apartment Homes



4- Hennepin History Museum



5- Bauhaus Flats



6- Wayside Family Center



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Brick Detailing  
3





1- 2323 Clinton Ave



2 - 332 E 24th St



3- K & J Auto Repair 2324 S 4th Ave.



4- 2318 S 4th Ave



5- 2214 S 4th Ave.



6- 2315 Clinton Ave.



7- 2309 Clinton Ave.



8- 2305 Clinton Ave.



Washburn Fair Oaks Historic District



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Site Context





A



B



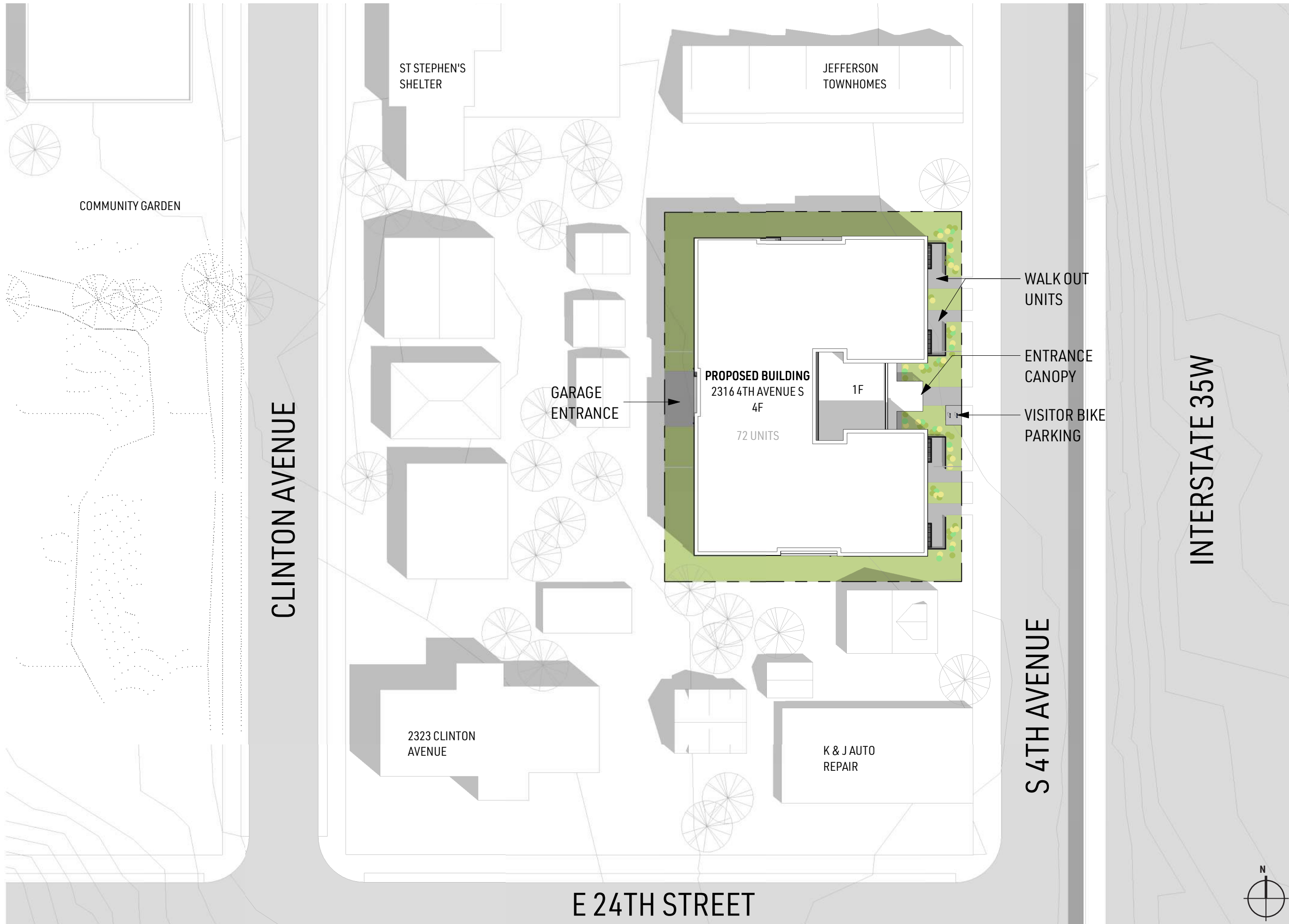
C



Washburn Fair Oaks Historic District







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Site Plan  
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Site Elevations

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**K & J AUTO REPAIR**  
2324 S 4th Avenue

**PROPOSED PROJECT**  
2316 S 4th Avenue

**JEFFERSON TOWNHOMES**  
2214 S 4th Avenue

**SIGNAL SYSTEMS INC.**  
2210 S 4th Avenue

S 4TH AVENUE STREET ELEVATION     1" = 40'-0"



NE VIEW



NW VIEW



SE VIEW



SW VIEW



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Bird's Eye View of  
Neighborhood





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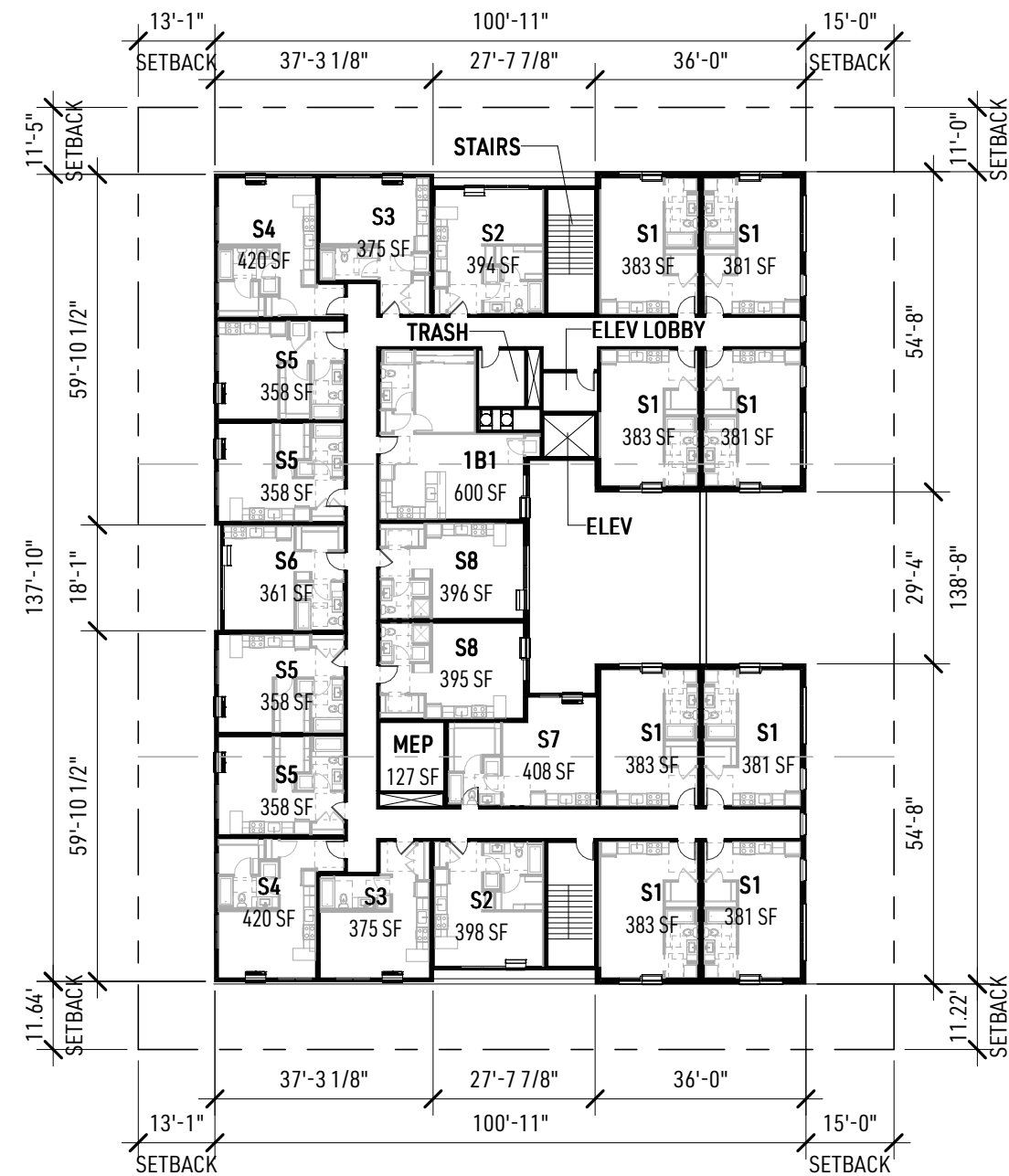
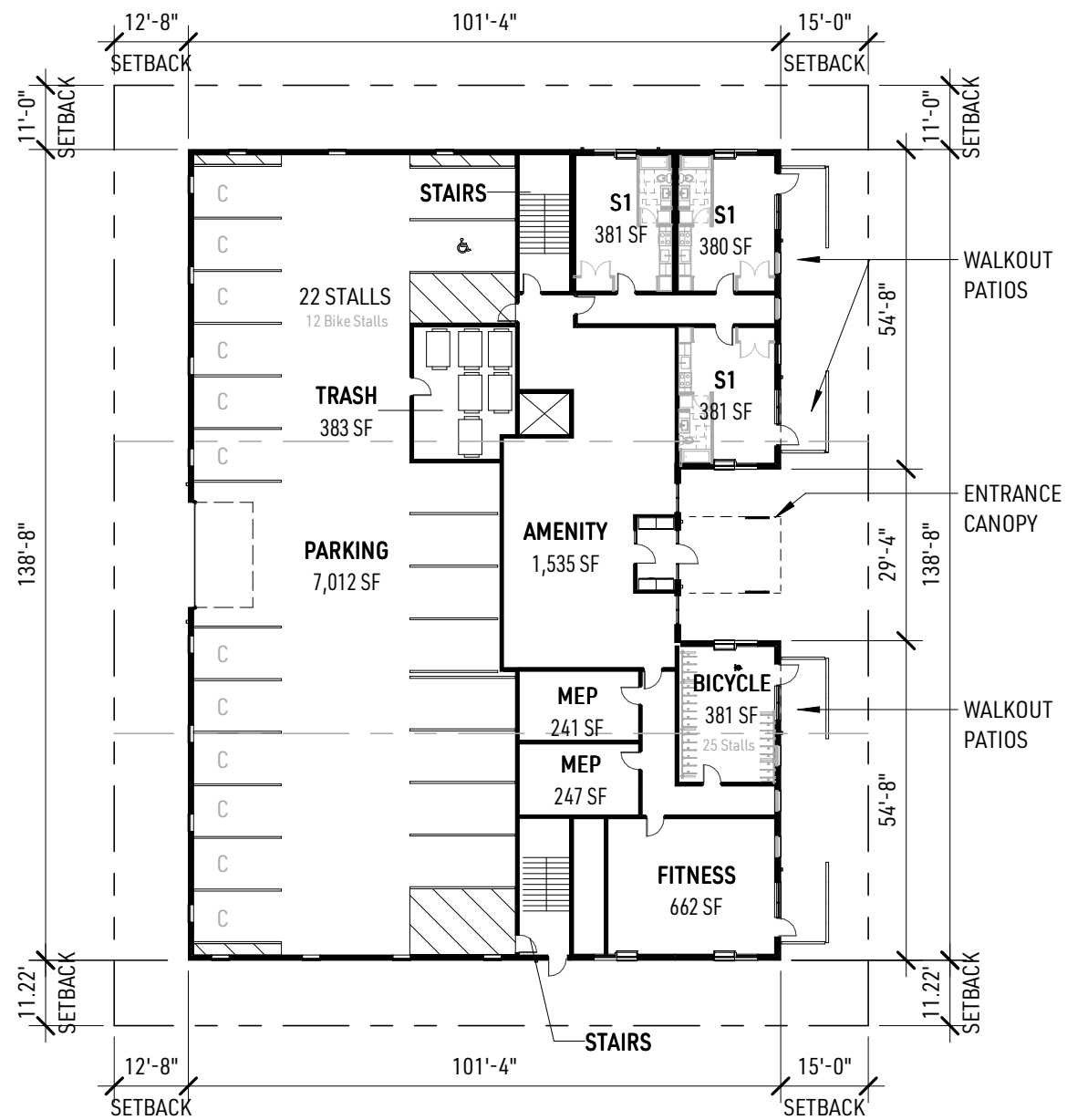


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Exterior Elevations

10



MATERIAL CALC- EAST ELEVATION		
MATERIAL	AREA	PERCENTAGE
BRICK	4,419 SF	67%
GLASS	2,199 SF	33%
	6,618 SF	100%

MATERIAL CALC- WEST ELEVATION		
MATERIAL	AREA	PERCENTAGE
5/8" LAP SIDING	2,887 SF	46%
7/16" LAP SIDING	362 SF	6%
BURNISHED BLOCK	1,415 SF	23%
GLASS	1,596 SF	25%
	6,261 SF	100%





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Exterior Elevations

11

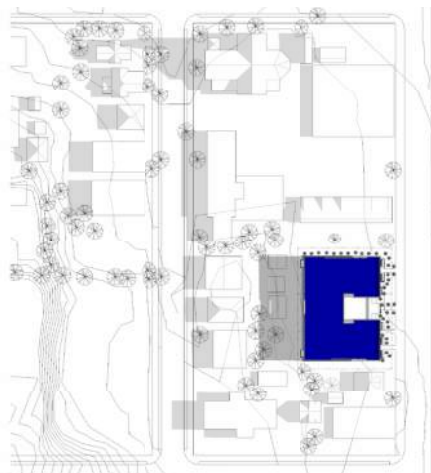


MATERIAL CALC- NORTH ELEVATION		
MATERIAL	AREA	PERCENTAGE
5/8" LAP SIDING	936 SF	20%
7/16" LAP SIDING	673 SF	14%
BRICK	1,270 SF	27%
BURNISHED BLOCK	786 SF	17%
GLASS	1,055 SF	22%
	4,721 SF	100%

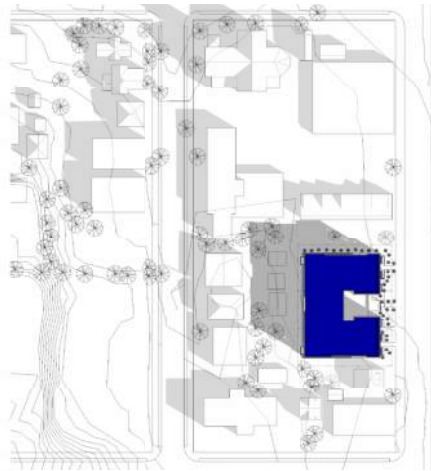
MATERIAL CALC- SOUTH ELEVATION		
MATERIAL	AREA	PERCENTAGE
5/8" LAP SIDING	1,166 SF	24%
7/16" LAP SIDING	673 SF	14%
BRICK	1,289 SF	26%
BURNISHED BLOCK	746 SF	15%
GLASS	1,082 SF	22%
	4,956 SF	100%



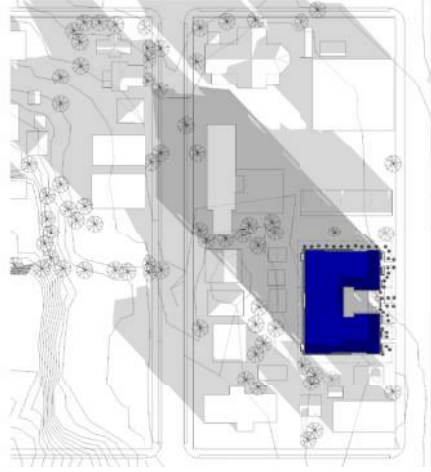
SHADOW STUDIES



6:26 A.M. (Hour After Sunrise) Jun. 21



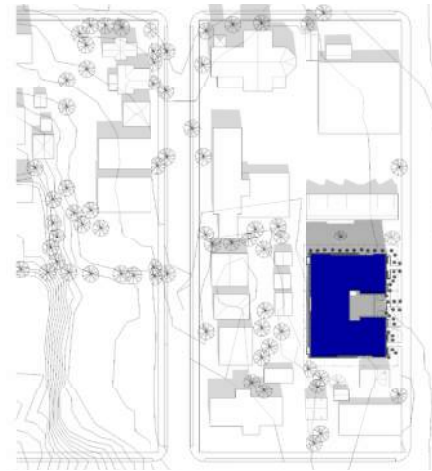
8:13 A.M. (Hour After Sunrise) Mar. 21



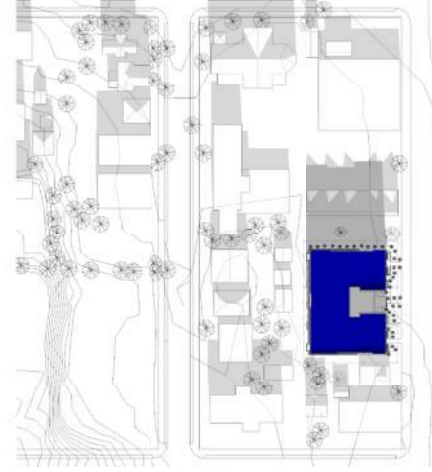
8:49 A.M. (Hour After Sunrise) Dec. 22



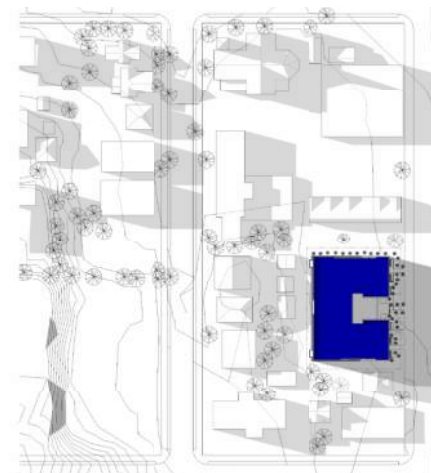
12:00 P.M. Jun. 21



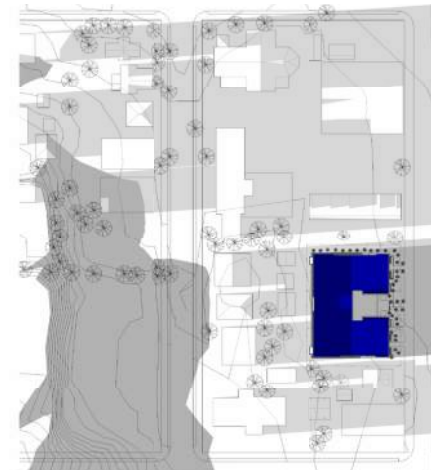
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12:00 P.M. Dec. 22



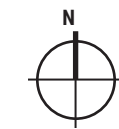
6:27 P.M. (Hour Before Sunset) Jun. 21



6:27 P.M. (Hour Before Sunset) Mar. 21



3:31 P.M. (Hour Before Sunset) Dec. 22



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# CERTIFICATE OF APPROPRIATENESS

## Certificate of Appropriateness

The alteration is compatible with the designation of the historic district, including the period and criteria of significance.

The proposed apartment building is located on S 4th Avenue across the street from the sound wall for Interstate 35W. Because of its proximity to the Interstate, the adjacent buildings are not the iconic Washburn Fair Oaks buildings that contribute to the historic designation of the District. The building currently on the site was built in the late 1940s, well past the period of significant growth of the district in the 1870s. The proposed building transitions the site from a single-story office building, to a 4 story residential building that more closely mimics the massing, materiality, and use of the surrounding urban fabric.

The alteration will ensure the continued integrity of the historic district.

The majority of the proposed site is currently used as surface parking and exterior storage for the office tenant. Through the redevelopment of this site, the proposed project will add a building that better aligns with the urban nature of the historic district. Walk out units and large amenity spaces on the ground floor will add to the vitality of the street life. Because of its proximity to the Interstate's sound wall, the site is currently underutilized as part of an urban neighborhood. By adding 74 units that face this street, the project will extend the feel of the historic district to the edge of designated area.

The alteration is consistent with the applicable design guidelines adopted by the commission.

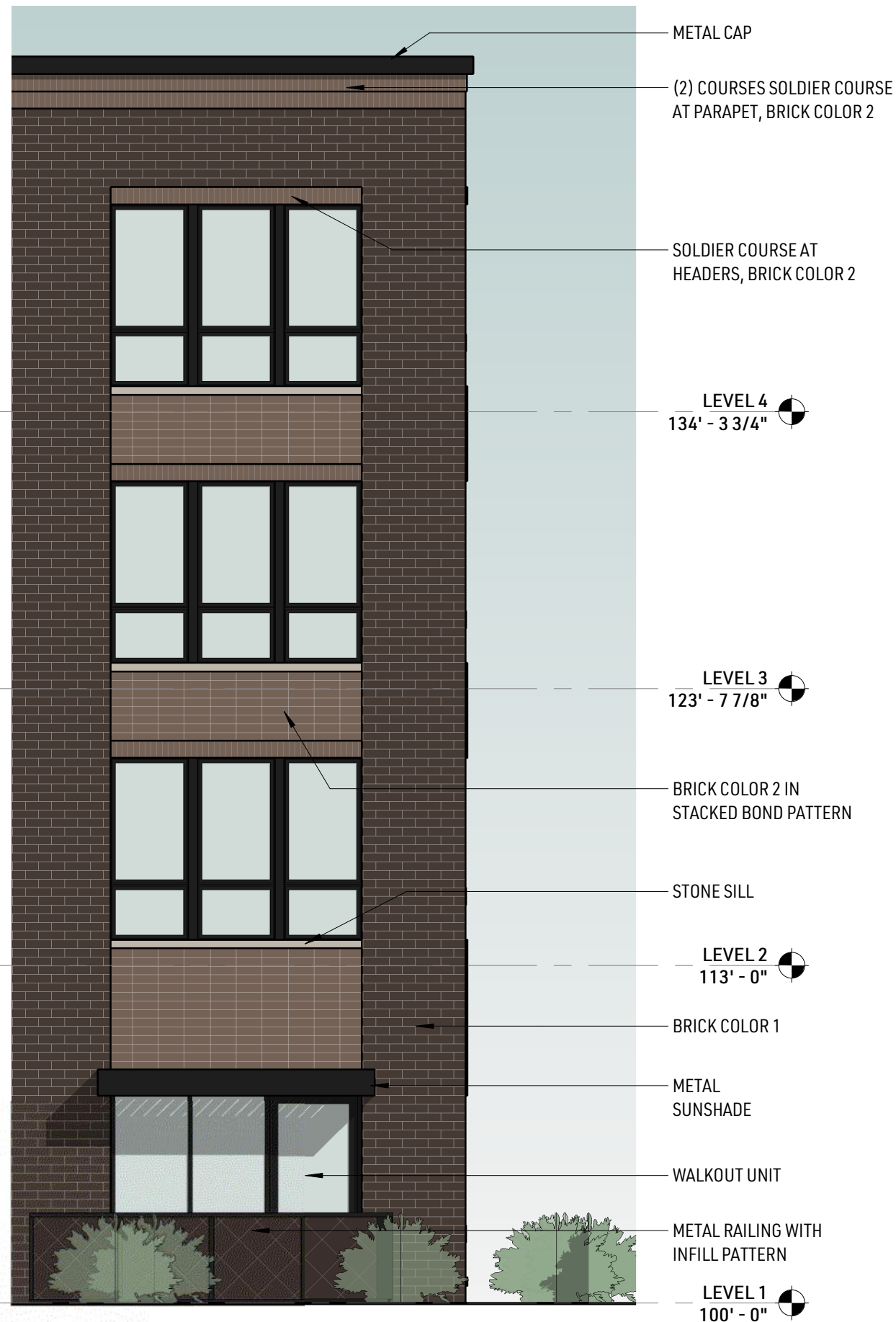
The project was designed with the Washburn Fair Oaks Historic District Design Guidelines as a basis. See next page for our response to the guidelines.

The alteration is consistent with the applicable recommendations contained in the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The standards deal mostly with preservation, rehabilitation, restoration, and reconstruction of historic buildings. However, since the building to be replaced is not a contributing building, nor is it located in close proximity to a historic building only a few of the standards apply. The Preservation chapter of the standards includes a section on the preservation of the building site. Most of the recommendations speak about retaining historic relationship between buildings and landscaping. The proposed setbacks align with the adjacent buildings and provide space for landscaping. As shown in the landscaping plan, planting will be provided that complements the neighborhood and avoid damage to nearby structures.

The alteration is consistent with the spirit and intent of the preservation ordinance, the applicable policies of the comprehensive plan, and the applicable preservation policies in small area plans adopted by the city council

This apartment building changes a car-dominant existing development with a project that responds to many goals of the Minneapolis 2040 plan. Most importantly, this project improves the public life of a street that has been marred by the dominance of the Interstate, and reintroduces active uses to the street. This project places pedestrians and cyclists first by orienting the building entrance towards the sidewalk. A spacious bike lounge is given easy direct access to the street. The location of the building close to high frequency bus routes like the 2 and the 11 ensures that residents have alternate modes of transportation throughout the year. The car is relegated to the back of the building. Finally, this project offers an increase in housing options through a project that addresses the human scale.



BRICK DETAIL (EAST ELEVATION)

3/16" = 1'-0"



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Certificate of  
Appropriateness





1- 35 E Franklin Avenue



2- The Pinger Apartments



3- 2409 1st Avenue S



4- The Estate at Chateau



5- 2432 1st Avenue S



Proposed new buildings shall not "materially impair the architectural or historic value of buildings on adjacent sites or in the immediate vicinity within the preservation district."

The HPC wishes to encourage contemporary design that is compatible with the nature of the preservation area.

The proposed apartment building is located on S 4th Avenue across the street from the sound wall for Interstate 35W. Because of its proximity to the Interstate, the adjacent buildings are not the iconic Washburn Fair Oaks buildings that contribute to the historic designation of the District. The proposed development replaces a single-story building and its parking lot with a building that responds to the massing and the design aesthetics of the surrounding neighborhood. Careful consideration has been placed on the brick detailing and the window proportions to have a similar design language as the nearby historic buildings.

#### Signs

The type of sign shall complement the structure, enhancing the building's design and materials. The development team will submit signage that complies with the Design Guidelines for On-Premise Signs and Awnings and apply for a Certificate of No Change at a later date.

#### Design Considerations

**Dimensions-** New construction shall take into consideration the directionality of adjacent and nearby structures.

The proposed development places the main facade and entrance facing the street. The setbacks proposed for the building are similar to those of the townhomes and the single-family house directly adjacent. The walkout units face the street which helps add vitality to the public realm.

**Scale-** New construction shall be consistent with the existing pattern in the neighborhood

As seen in the site context images, most of the buildings in the historic district are 3-4 story brick apartment buildings. The massing and materiality of the proposed building offers a modern interpretation of the existing building pattern.

**Setbacks-** New buildings shall be constructed at the legal setbacks for both front and side yards

No setback variance is requested for this project. The proposed setback closely matches those of the adjacent buildings.

**Spacing-** between buildings shall be consistent with existing codes.

No side yard variances are requested in this application. The proposed building is set further back from the south neighbor than the existing office building. This expanded side yard will give both properties more privacy and additional landscaping.

**Building plan-** There is no uniform plan for the buildings in either district, so this area is open for discussion

The proposed floor plan shows an efficient unit layout with the most valuable units facing the street. The U-layout of the building gives the profile of the wings a similar proportion as those found in nearby buildings like the Fair Oaks Apartment Homes or the Bauhaus Flats.

**Materials-** New materials shall be compatible with the existing (Brick, Stone, Clapboard, Stucco, Windows)

The proposed materials complement those found in the neighborhood in terms of scale, color, and type. Most of the visible facades will use brown brick. Secondary facades use ship lap siding which offers a modern equivalent to clapboard siding. Burnished block is proposed on the alley side and partially wrapped to the side yard facades.



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Guidelines

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◀ A selection of comparable residential buildings in the historic district in terms of use, materials, and massing.





VIEW FROM 4TH AVENUE



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Rendering  
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MAIN ENTRANCE



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Rendering  
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WALKOUT UNITS



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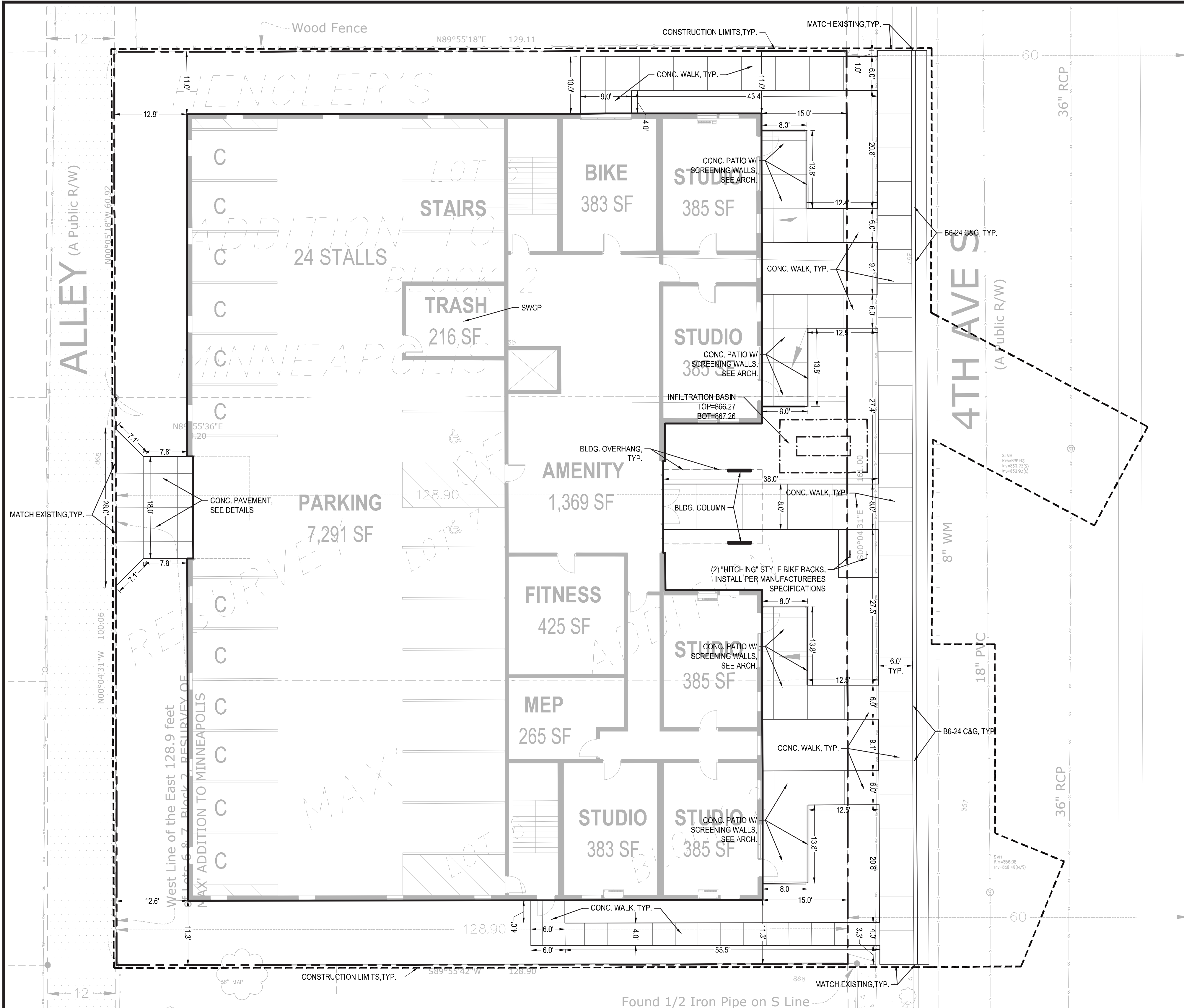
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Rendering  
17





**SITE PLAN LEGEND:**

- BITUMINOUS PAVEMENT. SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS, SEE DETAIL.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN
- TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS
- SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.  
 HC = ACCESSIBLE SIGN  
 NP = NO PARKING FIRE LANE  
 ST = STOP  
 CP = COMPACT CAR PARKING ONLY

**SITE LAYOUT NOTES:**

1. CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET IMPROVEMENT PERMIT.
3. THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
4. CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
5. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
6. CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION. LOCATION OF BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.
7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
8. PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
9. CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 8' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
10. SEE SITE PLAN FOR CURB AND GUTTER TYPE, TAPER BETWEEN CURB TYPES-SEE DETAIL.
11. ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
13. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
14. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
15. ALL PARKING LOT PAINT STRIPING TO BE WHITE, 4" WIDE TYP.
16. BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
17. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

**OWNER INFORMATION**

OWNER: NORTHBAY COMPANIES  
 2316 S 4TH AVE  
 MINNEAPOLIS, MN 55404  
 (612)-843-4888

**OPERATIONAL NOTES:**

- SNOW REMOVAL:**  
 ALL SNOW SHALL BE PLOWED AND RELOADED TO THE LANDSCAPED AREAS ON SITE. RESPONSIBILITY OF PROPERTY MANAGEMENT
- TRASH REMOVAL:**  
 TRASH REMOVAL SHALL OCCUR AT THE GARAGE DRIVE AND BE HAULED OUT FROM THE SWCP ON COLLECTION DAY. PROPERTY MANAGEMENT TO COORDINATE WITH TRASH HAULER AS NEEDED.
- DELIVERIES:**  
 DELIVERIES SHALL OCCUR WITHIN THE MAIL ROOM. PROPERTY MANAGEMENT TO COORDINATE WITH POSTMASTER AS NEEDED.

**SITE AREA TABLE:**

	EXISTING	PROPOSED
BUILDING COVERAGE	5,454 SF 26.3%	13,550 SF 65.3%
ALL PAVEMENTS	5,533 SF 26.6%	1,893 SF 9.1%
ALL NON-PAVEMENTS	9,777 SF 47.1%	5,321 SF 25.6%
<b>TOTAL SITE AREA</b>	<b>20,764 SF 100.0%</b>	<b>20,764 SF 100.0%</b>
<b>IMPERVIOUS SURFACE</b>		
EXISTING CONDITION	10,987 SF 52.9%	
PROPOSED CONDITION	15,443 SF 74.4%	15,443 SF 74.4%
DIFFERENCE (EX. VS PROP.)	4,456 SF 21.5%	
IMPERVIOUS TOTAL	15,443 SF 74.4%	

**CITY COORDINATION NOTES:**

1. TRAFFIC & PARKING
  - 1.1. COORDINATE WITH JOSEPH LAURIN, CITY OF MINNEAPOLIS, (612) 673-5987 FOR ALL WORK REGARDING STREET LIGHTING AND ELECTRICAL SYSTEMS. STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTACT DAVE PRYALL (612) 673-5759. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT CONTRACTOR'S EXPENSE.
  - 1.2. AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL NON-STANDARD STREETScape ELEMENTS IN THE PUBLIC RIGHT-OF-WAY SUCH AS: SHRUBS, PLANTERS, TREE GRATES AND OTHER LANDSCAPING ELEMENTS, SIDEWALK FURNITURE (INCLUDING BIKE RACKS AND BOLLARDS), AND SIDEWALK ELEMENTS OTHER THAN STANDARD CONCRETE WALKWAYS SUCH AS PAVERS, STAIRS, RAISED LANDINGS, RETAINING WALLS, ACCESS RAMPS, AND RAILINGS (NOTE: RAILINGS MAY NOT EXTEND INTO THE SIDEWALK PEDESTRIAN AREA). PLEASE CONTACT MATT HANAN AT (612) 673-3607 FOR FURTHER INFORMATION.
  - 1.3. ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED OPERATIONS (SUCH AS CONSTRUCTION CRANE BOOM SWINGS) THAT FALL WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT APPLICATION. IF THERE ARE TO BE ANY EARTH RETENTION SYSTEMS WHICH WILL EXTEND OUTSIDE THE PROPERTY LINE OF THE DEVELOPMENT THEN A PLAN MUST BE SUBMITTED SHOWING DETAILS OF THE SYSTEM. ALL SUCH ELEMENTS SHALL BE REMOVED FROM THE PUBLIC RIGHT-OF-WAY FOLLOWING CONSTRUCTION WITH THE EXCEPTION OF TIE-BACKS WHICH MAY REMAIN BUT MUST BE UNCOUPLED AND DE-TENSIONED. PLEASE CONTACT MATT HANAN AT (612) 673-3607 FOR FURTHER INFORMATION.
  - 1.4. COORDINATE WITH SCOTT KRAMER, CITY OF MINNEAPOLIS (612) 673-2383 REGARDING ANY WORK THAT IS PERFORMED IN THE RIGHT-OF-WAY. AN OBSTRUCTION PERMIT WILL BE REQUIRED FOR ALL WORK IN THE RIGHT-OF-WAY. CONTACT SCOTT KRAMER REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES.
  - 1.5. COORDINATE WITH CRAIG PINKALLA, CITY OF MINNEAPOLIS, (612) 499-9233 FOR ALL WORK REGARDING REMOVAL OR PROTECTION OF TREES DURING CONSTRUCTION IN THE CITY RIGHT-OF-WAY.
  - 1.6. COORDINATE WITH PAUL CAO, CITY OF MINNEAPOLIS, (612) 673-2843 FOR ALL WORK REGARDING BIKE RACKS IN THE CITY RIGHT-OF-WAY.
  - 1.7. COORDINATE WITH ALLAN KLUGMAN, CITY OF MINNEAPOLIS, (612) 673-5750 PRIOR TO CONSTRUCTION FOR THE TEMPORARY REMOVAL/RELOCATION OF ANY CITY OF MINNEAPOLIS SIGNAL SYSTEM. ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC SHALL BE BORNE BY THE CONTRACTOR.
  - 1.8. CONTACT SHANE MORTON AT (612) 673-5517 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.
2. ENVIRONMENTAL HEALTH
  - 2.1. COORDINATE WITH ENVIRONMENTAL SERVICES, CITY OF MINNEAPOLIS, (612) 673-3667 FOR PERMITS RELATING TO AFTER HOURS WORK, TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE, REMEDIATION OF CONTAMINATED SOIL AND GROUNDWATER, REUSE OF IMPACTED SOILS ON SITE, DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER TO CITY SEWERS, FLAMMABLE WASTE TRAPS, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WELL CONSTRUCTION OR SEALING, OR ON-SITE ROCK CRUSHING.
  - 2.2. NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:30 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT.
  - 2.3. IF CONTAMINATED SOIL IS ENCOUNTERED, IT MUST BE REPORTED TO THE MINNESOTA DUTY OFFICER AT (651) 849-5451. PRE-APPROVAL FOR REMOVAL OR REUSE MUST OCCUR FROM THE MPCA AND THE CITY OF MINNEAPOLIS.
  - 2.4. IF IMPACTED SOIL IS ENCOUNTERED DURING SITE ACTIVITIES WORK WILL NEED TO STOP AND NOTIFICATION PROVIDED TO THE MN STATE DUTY OFFICER AT (615) 649-5451.
  - 2.5. THE HIGHEST GROUNDWATER LEVEL EXPECTED FOR THIS SITE SHOULD BE DETERMINED AND USED IN ESTABLISHING THE LOWEST LEVEL FOR SUBGRADE STRUCTURES. IF SOIL BORINGS DEEPER THAN 15 FEET MUST BE DONE A TEMPORARY ENVIRONMENTAL WELL PERMIT MUST BE OBTAINED BY ENVIRONMENTAL SERVICES. IF DEWATERING IS REQUIRED DURING SITE CONSTRUCTION SEE BELOW FOR CITY PERMIT REQUIREMENTS. SUBGRADE STRUCTURES SHOULD BE DESIGNED TO PREVENT INFILTRATION OF GROUNDWATER WITHOUT THE NEED FOR A PERMANENT DEWATERING SYSTEM BEING INSTALLED. IF A CONTINUOUSLY OPERATING PERMANENT DEWATERING SYSTEM IS NEEDED IT MUST BE APPROVED AS PART OF THE SANITARY SEWER AND STORM DRAIN SITE PLAN APPROVAL PRIOR TO CONSTRUCTION BEGINNING.
  - 2.6. NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT 612-673-3516 FOR PERMIT INFORMATION.
  - 2.7. PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE, REUSE OF IMPACTED SOILS ON SITE, DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, TEMPORARY ENVIRONMENTAL WELLS, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT 612-673-5807 FOR PERMIT APPLICATIONS AND
3. APPROVALS.
  - 3.1. TO PROTECT ROOT ZONES, NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE PLACED, PARKED, OR STORED ON ANY UNPAVED AREA WITHIN THE DRIP LINE OF ANY CITY OWNED TREE, NO CHEMICALS OR PETROLEUM PRODUCTS SHALL BE DEPOSITED ON ANY UNPAVED AREA IN THE CITY RIGHT-OF-WAY.
  - 3.2. ANY TREE ROOTS ENCOUNTERED ARE TO BE CLEANLY CUT USING HAND TOOLS.
  - 3.3. NO OPEN EXCAVATION OR BORE PITS ALLOWED WITHIN 8 FEET OF CITY STREET TREES.
  - 3.4. CARE SHALL BE TAKEN NOT TO DAMAGE TREE TRUNKS OR BRANCHES. CONTRACTOR MUST CONTACT FORESTRY DEPARTMENT INSPECTIONS (CRAIG PINKALLA) AT (612) 499-9233 AT LEAST 3 DAYS PRIOR TO STARTING WORK TO DISCUSS PROBLEMS OF OVERHANGING BRANCHES THAT MAY BE DAMAGED.

**CITY OF MINNEAPOLIS SITE SPECIFIC NOTES:**

1. ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURBS AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE RE-DEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF SITE RE-DEVELOPMENT.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavsek  
 DATE: 03/26/20 LICENSE NO. 44263

**ISSUE/SUBMITTAL SUMMARY**

DATE	DESCRIPTION
03/26/20	FOR SUBMITTAL

**REVISION SUMMARY**

DATE	DESCRIPTION
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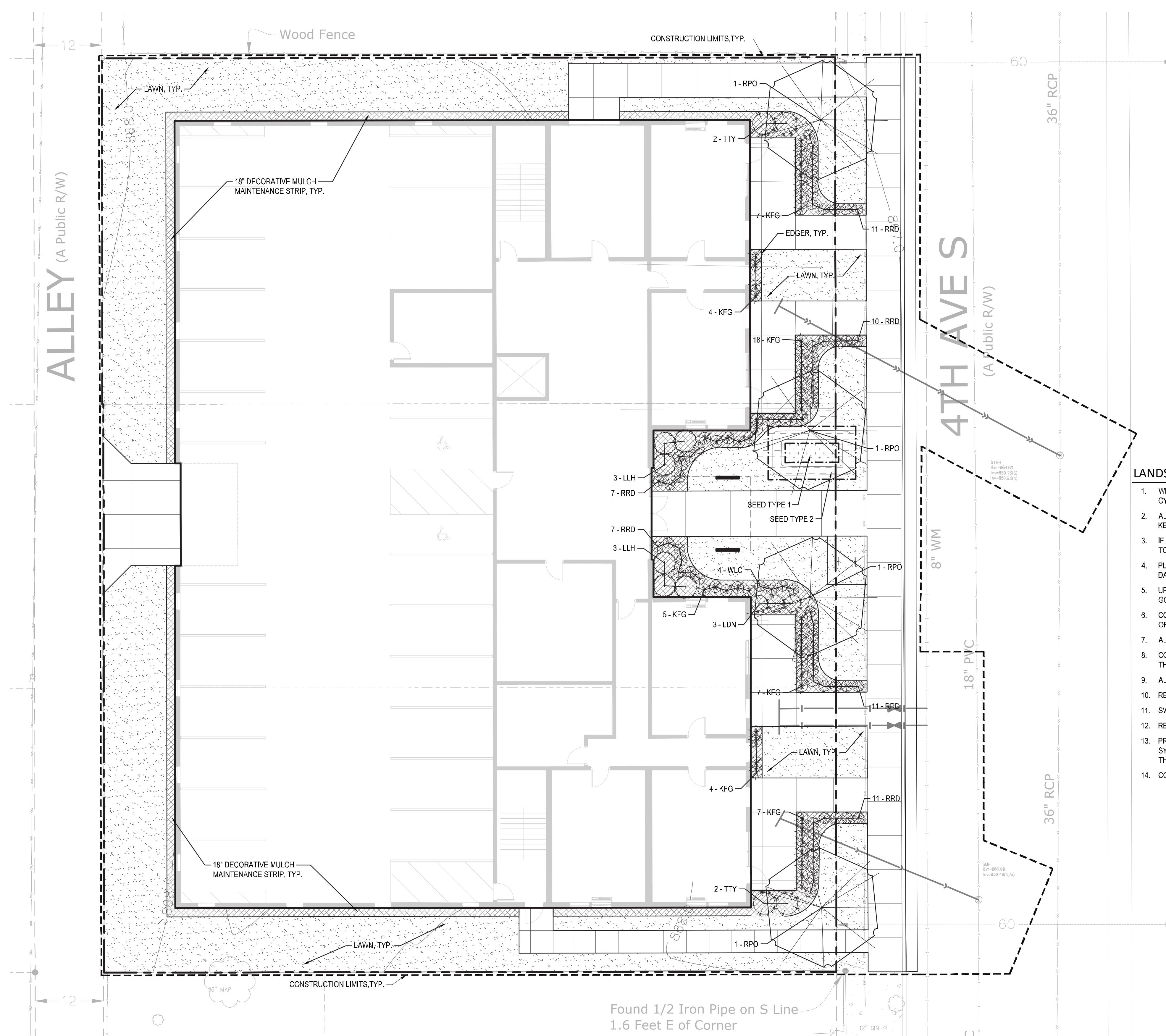
DRAWN BY: ND REVIEWED BY: PS, MP  
 PROJECT NUMBER: 19429

**SITE PLAN**

**C2.0**

3/25/2020 1:53 PM  
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**PLANT SCHEDULE - ENTIRE SITE**

SYM	QUANT. ON-SITE	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
DECIDUOUS TREES						
RPO	4	REGAL PRINCE OAK	<i>Quercus x warei</i> 'Long'	2.5" CAL.	B&B	STRAIGHT LEADER, FULL FORM
SHRUBS - DECIDUOUS & EVERGREEN						
LDN	3	LITTLE DEVIL NINEBARK	<i>Physocarpus opulifolius</i> 'Donna May'	24" HT.	CONT.	
LLH	6	LITTLE LIME HYDRANGEA	<i>Hydrangea paniculata</i> 'Jane'	24" HT.	CONT.	
TTY	4	TAUNTON'S YEW	<i>Taxus x media</i> 'Tauntonii'	24" HT.	CONT.	
PERENNIALS & GRASSES						
KFG	52	KARL FOERSTER GRASS	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	#1	CONT.	
RRD	57	ROSY RETURNS DAYLILY	<i>Hemerocallis</i> 'Rosy Returns'	#1	CONT.	
WLC	4	WALKER'S LOW CATMINT	<i>Nepeta x faassenii</i> 'Walker's Low'	#1	CONT.	

**LANDSCAPE NOTES:**

- WHERE SHOWN, SHRUB & PERENNIAL BEDS SHALL BE MULCHED WITH 4" DEPTH (MINIMUM AFTER INSTALLATION AND/OR TOP DRESSING OPERATIONS) OF SHREDDED CYPRESS MULCH.
- ALL TREES SHALL BE MULCHED WITH SHREDDED CYPRESS MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2' FROM TREE TRUNK.
- IF SHOWN ON PLAN, RANDOM SIZED LIMESTONE BOULDERS COLOR AND SIZE TO COMPLIMENT NEW LANDSCAPING. OWNER TO APPROVE BOULDER SAMPLES PRIOR TO INSTALLATION.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURATION OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER TOPSOIL AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- REPAIR AT NO COST TO THE OWNER IRRIGATION SYSTEM DAMAGED FROM LANDSCAPE CONSTRUCTION ACTIVITIES.
- PROVIDE SITE WIDE IRRIGATION SYSTEM DESIGN AND INSTALLATION. SYSTEM SHALL BE FULLY PROGRAMMABLE AND CAPABLE OF ALTERNATE DATE WATERING. THE SYSTEM SHALL PROVIDE HEAD TO HEAD OR DRIP COVERAGE AND BE CAPABLE OF DELIVERING ONE INCH OF PRECIPITATION PER WEEK. SYSTEM SHALL EXTEND INTO THE PUBLIC RIGHT-OF-WAY TO THE EDGE OF PAVEMENT/BACK OF CURB.
- CONTRACTOR SHALL SECURE APPROVAL OF PROPOSED IRRIGATION SYSTEM INCLUDING PRICING FROM OWNER, PRIOR TO INSTALLATION.

**LANDSCAPE LEGEND**

- SHREDDED CYPRESS MULCH, SAMPLES REQUIRED PROVIDE EDGING AS SHOWN ON PLAN
- LAWN - SOD
- SEED TYPE 1 - MNDOT 34-262 WET PRAIRIE, PER MNDOT SEEDING MANUAL SPECIFICATIONS (2014)
- SEED TYPE 2 - MNDOT 35-221 DRY PRAIRIE, PER MNDOT SEEDING MANUAL SPECIFICATIONS (2014)
- 1" DIA. ROCK MAINTENANCE STRIP OVER FILTER FABRIC, SAMPLES REQUIRED. PROVIDE EDGING AS SHOWN ON PLAN

- PROPOSED CANOPY TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED EVERGREEN TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED ORNAMENTAL TREE SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED PERENNIAL PLANT SYMBOLS - SEE PLANT SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- EDGING
- DECORATIVE BOULDERS (ROUNDED & BLOCK STYLE), 18"-30" DIA.

**CITY OF MINNEAPOLIS SITE SPECIFIC LANDSCAPE NOTES:**

- ALL PROPOSED TREES IN THE PUBLIC RIGHT-OF-WAY ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MINNEAPOLIS PARK BOARD. PLEASE CONTACT CRAIG PINKALLA AT (612) 499-9233 TO DISCUSS TREE SPECIES SELECTION, PLANTING METHOD, SPACING AND LOCATIONS. TREE PLANTING DETAILS SHALL BE INCLUDED IN THE PLANS. FOR ALL TREES PROPOSED IN "HARDSCAPE ENVIRONMENTS" WITHIN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL PROVIDE ENGINEERED/STRUCTURED SOIL IN THE FORM OF A TREE TRENCH OR TREE PIT FOR ALL PROPOSED STREET TREES. LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY SHALL FOLLOW ESTABLISHED DESIGN STANDARDS IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION CURRENT EDITION AND ITS ATTACHMENTS (REFER TO THE FOLLOWING: [HTTP://WWW.MINNEAPOLISMN.GOV/PUBLICWORKS/PLATES/INDEX.HTM](http://www.minneapolismn.gov/publicworks/plates/index.htm)).

**POLLINATOR SAFE PLANT MATERIAL:**

- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND TREATMENTS OF ANY KIND, INCLUDING BUT NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, SAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANOTOSU, DANTOP), ACETAMIPRID (MOSPIRAN, ASSAIL, CHIFCO TRISTAR), THIACLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
- CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS.

**LANDSCAPE CALCULATIONS:**

PROPOSED LANDSCAPE AREA CALCULATION:  
SITE AREA - BUILDING COVERAGE = OPEN SPACE  
20,764.0 SF - 13,550.0 SF = 7,214.0 SF

20% OF OPEN SPACE = LANDSCAPE AREA  
20% X 7,214.0 SF = 1,442.8 SF REQUIRED  
74% X 7,214.0 SF = 5,321.0 SF PROVIDED  
74.4% PROPOSED IMPERVIOUS RATIO

PROPOSED LANDSCAPE:  
1 TREE / 500 SF OF "LANDSCAPE AREA"  
1,442.8 SF / 500 = 3 TREES REQUIRED  
SEE PLANT SCHEDULE

1 SHRUB / 100 SF OR "LANDSCAPE AREA"  
1,442.8 SF / 100 = 14.4 SHRUBS REQUIRED  
SEE PLANT SCHEDULE

Found 1/2 Iron Pipe on S Line  
1.6 Feet E of Corner

