

REFERENCE SYMBOLS:

	SURFACED MOUNTED LIGHT (FIXTURE TYPE, SEE SCHEDULE)		TOGGLE SWITCH (SEE PLAN FOR SWITCHING)
	WALL MOUNTED LIGHT (FIXTURE TYPE, SEE SCHEDULE)		TOGGLE SWITCH (3-WAY, 4, ETC.)
	RECESSED LIGHT (FIXTURE TYPE, SEE SCHEDULE)		DIMMER SWITCH (RHEOSTAT)
	RECESSED WALL-WASHER LIGHT (FIXTURE TYPE, SEE SCHEDULE)		TIMER SWITCH
	PULL CHAIN LIGHT		DUPLEX OUTLET
	JUNCTION BOX		DUPLEX OUTLET (HEIGHT)
	UNDER CABINET LIGHT		DUPLEX OUTLET (WATER PROOF/GROUND FAULT INTERRUPTER)
	CEILING FAN		QUAD OUTLET
	CEILING FAN/ LIGHT		DUPLEX OUTLET/ (DEDICATED CIRCUIT)
	EXHAUST FAN		DUPLEX OUTLET, O HOT
	EXHAUST FAN/LIGHT		220-VOLT SINGLEPLEX OUTLET
	SMOKE DETECTOR-HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP		FLOOR FLOOR OUTLET-F.V. LOCATION
	CARBON MONOXIDE DETECTOR		ELEV. TO ELEVATION BENCHMARK
	GARAGE DOOR OPENER		TELEPHONE JACK
	ELECTRICAL HEATER		CABLE TV
	FLOOD LIGHT		DATA JACK
			ILLUMINATED EXIT SIGN
			EMERGENCY LIGHT
			EMERGENCY LIGHT/ SIGN
			CENTRAL FIRE ALARM BOX
			FIRE ALARM HORN AND PULL STATION

	DRAWING NUMBER		INTERIOR ELEVATION REFERENCE
	PAGE DETAIL IS DRAWN		SECTION CUT REFERENCE
	DRAWING NUMBER		PARTITION TYPE
	PAGE DETAIL IS DRAWN		ROOM NAME/ NUMBER
	DRAWING NUMBER		DOOR NUMBER
	AREA OF REVISION FROM PREVIOUS DRAWING ISSUE		DETAIL REFERENCE

	ANCHOR BOLT		CONTROL JOINT
	AIR CONDIT		CONCRETE MASONRY UNIT
	ABOVE FINISH FLR		CASED OPENING
	ADDITIONAL		CERAMIC TILE
	ADDITION		CABINET CENTERLINE
	AIR HANDLING		CEILING
	ADJUSTABLE		CLOSET
	ALTERNATE		CARBON MON
	ALUMINUM		CONSTRUCTION
	ASSEMBLY		COLUMN
	BOARD		CONCRETE
	BUILDING		CONTINUOUS
	BLOCKING		CORRIDOR
	BEDROOM		COORDINATE
	BREAKFAST RM		CASING
			CASEWORK

	CONTRACTOR		ENCLOSURE
	CABLE TV		EQUAL
	DESIGN BUILD		EQUIPMENT
	DISHWASHER		ETC.
	DEMOLITION		EXIST.
	DIAMETER		EXPANSION
	DIMENSION		FOUNDATION
	DOWN		FINISH
	DEEP (DEPTH)		FIXTURE
	DINING ROOM/DR		FLOOR
	DETAIL		FLASHING
	DRAWING		FLUORESCENT
	EXPAN JOINT		FIREPLACE
	EACH		FOOT, FEET
	ELEVATION		FOOTING
	ELECTRICAL		GYPSUM BOARD
	ELECTRICAL		
	EMERGENCY		

PROJECT IMAGES & PROJECT TITLE:



# A NEW 6 UNIT APARTMENT BUILDING ON A VACANT LOT

2413 1st Ave South  
MINNEAPOLIS, MN 55409  
PDR / ZONING SUBMISSION

PRIMARY CONTACTS:

OWNER / DEVELOPER:  
Eric Ollestad  
Value Homes, LLC  
3495 Northdale Blvd NW #200  
Coon Rapids, MN 55448  
612-481-7841

GENERAL CONTRACTOR:

ARCHITECT  
Wells & Company Architects  
William Wells, Architect  
PO BOX 8589  
Minneapolis, MN 55408  
wellsandcompany@yahoo.com  
ph. 612-669-2052

STRUCTURAL ENGINEER

Mark Hostetler, PE  
5709 Lake Rose Dr  
Minnetonka, MN 55345

SURVEYOR:

Gregory Prasch  
DEMARC  
Land Surveying  
7601 73rd Ave S  
Minneapolis, MN 55428  
763-560-3093  
gregprasch@demarcinc.com

INDEX TO DRAWINGS:

ARCHITECTURAL / CIVIL SHEETS / STRUCTURAL SHEETS

- T1 TITLE SHEET
- T1.1 URBAN CONTEXT
- T2 CODE SHEET
- T3 WALL TYPES AND FLOOR TYPES
- T4 WINDOW AND DOOR SCHEDULE
- T5 DETAILS
- T6 DETAILS
- SURVEY
- C100 CIVIL SHEETS - DETAIL
- C101 CIVIL SHEETS - DETAIL
- C102 CIVIL SHEETS - EROSION CONTROL
- L100 SITE PLANS
- L200 SITE DETAILS
- L300 SITE DETAILS

- A0 FOUNDATION AND BASEMENT PLANS
- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR PLAN
- A3 THIRD FLOOR (ATTIC) PLAN
- A4 ROOF PLAN AND ROOF DETAILS
- A5 EXTERIOR BUILDING ELEVATIONS
- A6 EXTERIOR BUILDING ELEVATIONS
- A7 BUILDING SECTIONS

- S0 - S3 STRUCTURAL SHEETS
- E1-E2 ELECTRICAL PLANS

PROJECT DESCRIPTION

LEGAL DESCRIPTION:

PROPERTY ID: 34-029-241-30-009  
WARD: WARD 10 - Whittier Neighborhood Association  
Council Member Lisa Bender  
ZONING STAFF ASSIGNED: Andrew Frenz  
HPC STAFF ASSIGNED: Robert Skalecki  
IBC OCCUPANCY TYPE: R2  
IBC CONSTRUCTION TYPE: TYPE VB  
BUILDING CODE: MN STATE BUILDING CODE 2015  
INCORPORATING THE 2012 IBC  
FIRE SPRINKLER: FULLY SPRINKLED NFPA 13R  
LOT ZONED: R4 with Washburn Fair Oaks Historic District  
LOT SIZE: 5,900 sqft  
EXISTING SITE USE: Vacant Lot  
PROPOSED DEVELOPMENT: 6 Unit Apartment Building

PROPOSED IMPERVIOUS SURFACE: SEE ANALYSIS ON SITE PLAN SHEET L100  
PROPOSED BUILDING FOOTPRINT:  
PROPOSED BUILDING AREA:

PROPOSED BUILDING HEIGHT: 2.5 STORIES WITH BASEMENT  
PROPOSED PARKING: 5 SURFACE PARKING SPACES OFF STREET

PROPOSED UNIT MIX: (6) Units and all units are 2 Bedroom + Office  
ADA REQUIREMENTS: NO ADA units. The building has less than 7 units and all units are multi-level, therefore ADA exempt.

ZONING CODE REQUIREMENTS AND APPROVALS

GENERAL PROJECT NOTES

1. SEE STRUCTURAL SHEETS FOR FOUNDATION WALL AND FOOTING THICKNESS AND SPECIFICATIONS.
2. THE ARCHITECTURAL FLOOR PLANS SHOW THE FINISHED WALL THICKNESS.
3. GC MUST FIELD VERIFY DIMENSIONS.
4. ALL BEDROOMS MUST HAVE A SMOKE DETECTOR HARD WIRED. ALL BEDROOMS MUST HAVE A CO DETECTOR WITHIN 10' OF THE BEDROOM DOOR AS REQUIRED BY CODE.
5. ALL BATHROOMS MUST HAVE EXHAUST FAN, VENT TO EXTERIOR. AND INSULATE THE PIPE TO R-8 AS REQUIRED WITHIN 3' OF EXTERIOR.
6. ALWAYS PROVIDE A FLOOR DRAIN OR A PAN UNDER THE WASHER / DRYER. SEE PLANS FOR LOCATION.
7. SEE "T" SHEETS FOR WALL TYPES
8. DO NOT SCALE OFF THE PLANS. THE CONTRACTOR MUST CONTACT ARCHITECT WITH DIMENSION QUESTIONS.
9. THE ORIGINAL PRINTED PLAN SIZE IS 24" X 36".
10. THE CONTRACTOR AND SUBCONTRACTORS MUST VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMISSION OF BIDS.
11. THE CONTRACTOR AND SUB CONTRACTORS SHALL PULL ALL NECESSARY PERMITS, AND CARRY INSURANCE, LICENSES AND CERTIFICATES.
12. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS WHICH ARE OBVIOUS AND NECESSARY TO INSURE GOOD WORKMANSHIP AND INSTALLATION EVEN IF NOT SPECIFICALLY MENTIONED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO BLOCKING AND BRACING FOR ALL BATHROOM HARDWARE.
13. ALL DOORS AND HARDWARE SHALL BE IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES. ALL WORK TO BE DONE IN COMPLIANCE WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ORDINANCES.
14. PROVIDE METAL CORNER BEADS AT ALL OUTSIDE CORNERS OF GYPSUM BOARD SURFACES.
15. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL WASH CLEAN ALL SURFACES AND LEAVE THE WORK IN A CLEAN CONDITION.
16. THE CONTRACTOR MUST OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE MAKING CHANGES TO THE BUILDING DESIGN, WHICH IMPACT THE FUNCTION, COST, OR OVERALL AESTHETIC OF THE PROJECT.
17. SEE OWNER'S FINISH SCHEDULE FOR ALL INTERIOR ROOM FINISHES.
18. FIRESTOP ALL OPEN SPACES AROUND PENETRATIONS IN FIRE RATED ASSEMBLIES WITH INTUMESCING FIRESTOP, UL APPROVED, BY 3M OR EQUAL.
19. THE CONTRACTOR MUST PROVIDE THE ARCHITECT WITH SHOP DRAWINGS FOR ALL STAIRS, GATES, FENCES, RAILINGS, HANDRAILS, AND DECKS, WALKWAYS, FLOOR TRUSSES, SPRINKLER SYSTEM, ETC.
20. AT ALL WET LOCATIONS PROVIDE AQUA-TOUGH TILE BACKER BOARD OR MOLD RESISTANT GYP BD.
21. ALL CAULKING AT KITCHEN AND BATHROOM LOCATIONS TO BE SILICONE BASED. MATCH COLOR WITH ADJ FINISH.
22. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES SECURE AND FREE FROM WASTE.
23. PROVIDE PROPER FENCES AND SIGNAGE AROUND SIDEWALKS. DO NOT STORE CONSTRUCTION MATERIALS IN THE PUBLIC RIGHT OF WAY OR ON THE NEIGHBOR'S PROPERTY.
24. SUBSTITUTIONS SHALL BE CONSIDERED AT BID STAGE. DURING CONSTRUCTION CONTRACTOR MUST GET WRITTEN APPROVAL FROM THE OWNER BEFORE MAKING ANY SUBSTITUTIONS.
25. CONTRACTOR MUST SHOW SAMPLES TO OWNER BEFORE INSTALL.
26. SPECIAL INSPECTIONS AND SPECIAL TESTING ARE REQUIRED ON THE PROJECT. THE CONTRACTOR MUST COORDINATE ALL SPECIAL INSPECTIONS. THE OWNER MUST PAY FOR ALL THE SPECIAL INSPECTIONS.
27. THE FOLLOWING TRADES ARE DESIGN-BUILD: FIRE SPRINKLER, ELECTRICAL, PLUMBING, MECHANICAL, FLOOR AND ROOF TRUSS FRAMING. THE SUB CONTRACTORS MUST PROVIDE CODE COMPLIANT SHOP DRAWINGS, STAMPED AND SIGNED BY AN ENGINEER AS REQUIRED BY CODE TO PULL A PERMIT AT THE CITY. THE SUB CONTRACTORS PROVIDING DESIGN BUILD SERVICES ARE REQUIRED TO BID AND INSTALL THE WORK PER CODE.

CITY APPROVAL STAMP

WELLS & COMPANY  
ARCHITECTS

© 2021 Wells & Company Architects

PROJECT TITLE:  
A New 6 Unit  
Apartment Building  
2413 1st Ave S  
Minneapolis, MN  
55404

SHEET TITLE:  
COVER SHEET

PROJECT #: 02-2020

DRAWN BY: WELLS

CHECKED BY: WELLS

ISSUE: DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of

the state of: Minnesota

signed: *William M. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615.

SHEET NO:

T1

NOTIFY ARCHITECT IN EVENTS OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY DIRECTED TO THE ARCHITECT. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS

PLANS MUST BE PRINTED ON 24" X 36" SIZE PAPER TO BE AT SCALE





VACANT LOT  
2413 1st Ave SE



PHOTO OF EXISTING CONDITIONS (VACANT LOT)

EXISTING CONDITIONS

VIEW FROM 1st AVE S



NEW 6 UNIT APARTMENT BUILDING  
2413 1st Ave SE



ARCHITECTURAL RENDERING (NEW 6 UNIT APARTMENT BUILDING)

PROPOSED IMPROVEMENTS

VIEW FROM 1st AVE S

CITY APPROVAL STAMP

WELLS & COMPANY  
ARCHITECTS

612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

©2020 Wells & Company Architects

PROJECT TITLE:  
A New 6 Unit  
Apartment Building  
2413 1st Ave S  
Minneapolis, MN  
55404

SHEET TITLE:  
ARCHITECTURAL  
RENDERINGS  
URBAN CONTEXT

PROJECT #: 02-2020

DRAWN BY: WELLS

CHECKED BY: WELLS

ISSUE: DATE:

I hereby certify that this plan  
specification or report was prepared  
by me or under my direct supervision  
and that I am a duly registered  
architect under the law of

the state of: Minnesota

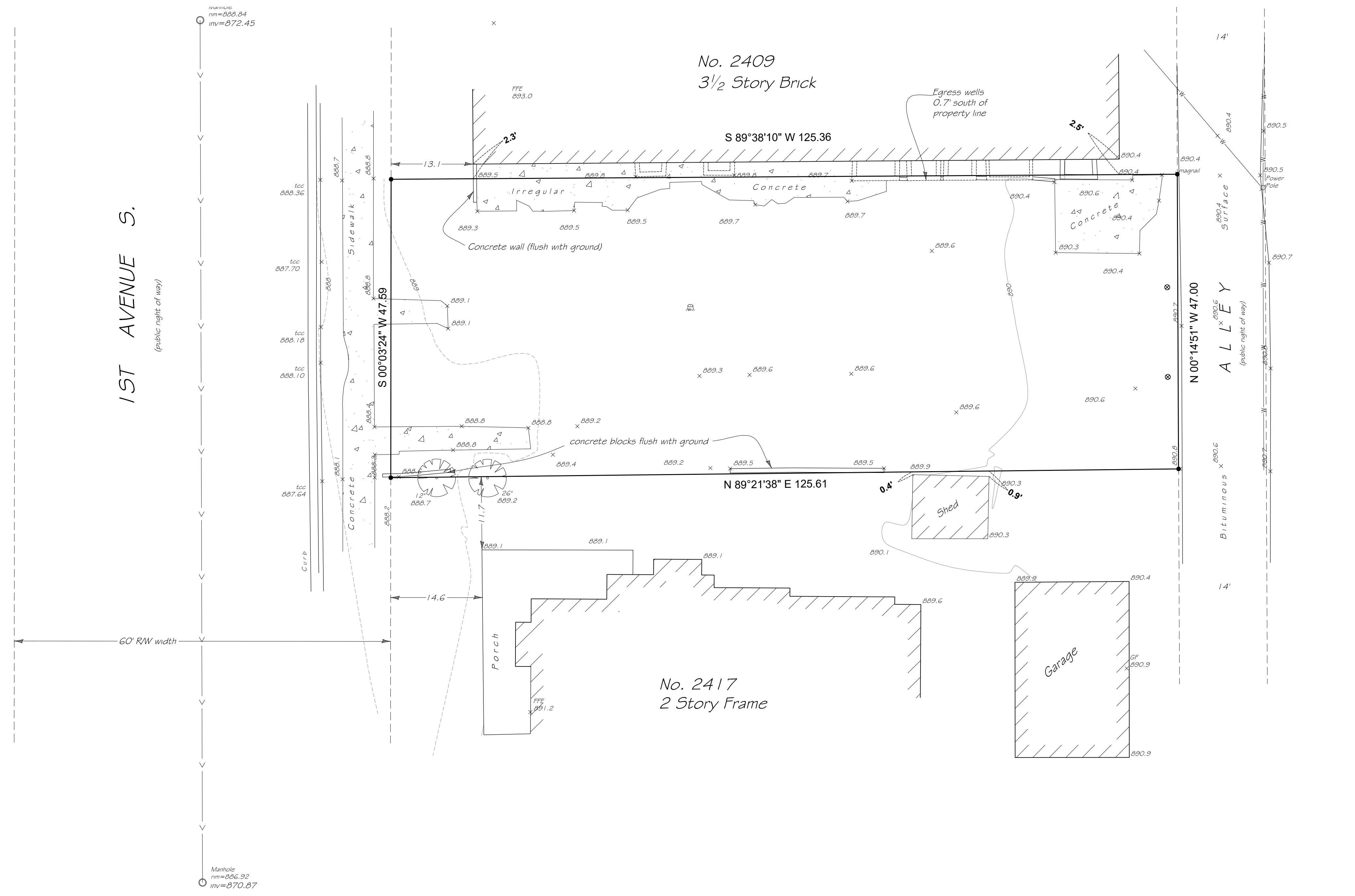
signed: *W. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615

SHEET NO:

T1.1



ALTA/NSPS LAND TITLE SURVEY FOR:  
WELLS & CO. ARCHITECTS



Legend of Symbols and Abbreviations

- Denotes Existing Contours
- Denotes Proposed Contours
- Denotes Existing Elevation
- Denotes Proposed Elevation
- Denotes Surface Drainage
- Denotes Found Iron Monument
- Denotes Iron Monument Set
- Bollard
- Light
- Power Pole
- Manhole
- Catch Basin
- GAS
- Gas Main
- Underground Communications
- Underground Electric
- Sanitary Sewer
- Storm Sewer
- Watermain
- Overhead Wires
- Height of building to adjacent ground

Statement of Encroachments

- A** Egress wells over north lot line.
- B** Wall crosses over north lot line.
- C** Irregular concrete crosses over north lot line.

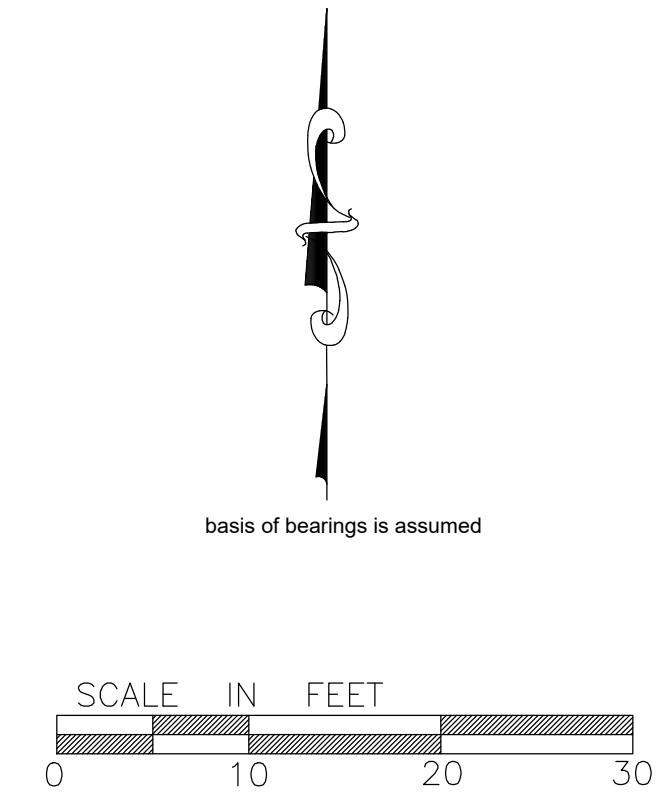
Current Zoning Information

Source of Information: City of Minneapolis Zoning web site (minneapolismn.gov)

City Address: 315 4th Street, Minneapolis, MN  
City Phone: (612) 673-3000  
Zoning District(s): R4 (library.municode.com Minneapolis, MN 546.560 - yard requirements)  
Zoning Definition: Multiple-Family (Medium Density)

Building Setback Requirements R4			
	Observed	Required	Notes
Front Yard Setback	N/A	15 feet	Note: Refer to City Code 546.180 for exceptions to front yard setbacks.
Side Yard Setback	N/A	6 feet	
Rear Yard Setback	N/A	5 feet	
Parking Tabulation			
	Observed	Required	Notes
Regular Spaces	N/A	See Note	dependent on building type
Handicapped Spaces	N/A	See Note	
Total Parking Spaces	N/A	See Note	
Height Restrictions			
	Observed	Max. Allowed	Notes
Maximum Height	see survey	see note	dependent on building type
Bulk Restrictions			
	Observed	Required	Notes
Lot Area	5934 sq. ft.	1500 sq. ft.	dependent on building type

NOTE: Because there may be a need for further interpretation of the applicable zoning codes, we refer you to the above referenced municipality and the applicable zoning codes.



Legal Description

Lot 11, Block 1, BELLEVIEW ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota.

Note Corresponding to Schedule B, Part II

- As per Commitment No. 612654, dated April 24, 2020.
- 1 Item 1 - Is not a survey issue or not to our knowledge.
  - 2 Item 2 - Not to our knowledge.
  - 3 Item 3 - Encroachments as shown hereon, see 'Statement of Encroachments'
  - 4 Item 4 - Not to our knowledge.
  - 5 Item 5 - Liens are not a survey issue.
  - 6 Item 6 - Taxes and assessments are not a survey issue.
  - 7 Item 7 - Taxes and assessments are not a survey issue.
  - 8 Item 8 - Items listed are not a survey issue.
  - 9 Item 9 - Taxes are not a survey issue.
  - 10 Item 10 - Assessments are not a survey issue.
  - 11 Item 11 - Property subject to Mineral rights to State of Minnesota.
  - 12 Item 12 - Leases are not a survey issue.
  - 13 Item 13 - Questions regarding title commitment to Nate Schultz at 651-697-6161.

Miscellaneous Notes

- MN 1** Legal description and easements, if any, per title commitment from Old Republic National Title Insurance Company, File No. 612654, dated April 24, 2020.
- MN 2** Property Address: 2413 1st Avenue South, Minneapolis, Minnesota  
Property Identification No.: 34-029-24-13-0009
- MN 3** Area of Parcel = 5,934 sq ft
- MN 4** Property is in Flood Zone "X" (area of minimal flooding)  
per FEMA panel map number 27053C0359F, effective date 11-04-2016.
- MN 5** Per item 6 of certification: No zoning report or letter provided. Zoning information shown obtained thru City web site.
- MN 6** There is no observable evidence of cemeteries or burial grounds on subject property.
- MN 7** There are no ponds, lakes, springs or rivers boarding on or running through subject property.
- MN 8** Access is gained to the subject property via public alley.
- MN 9** There is no observable evidence of earth moving work, building construction or building additions within recent months.
- MN 10** There are no changes in street right of way lines either completed or proposed as available from the controlling jurisdiction.
- MN 11** There is observable evidence of recent street or sidewalk construction or repairs.
- MN 12** There is no observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- MN 13** Benchmark: Minneapolis Monument No. 461 located at East 22nd Street and Nicollet Avenue South  
Elevation = 894.44 feet
- MN 13** Above ground utility locations have been field located as shown. All underground utility services which serve the property have attempted to be located through the services of Gopher State One Call per ticket number 201483497. Utilities as shown are from available maps and locations are only approximate. Before any digging contact Gopher State One Call (651-454-0002 or 811)

ALTA/NSPS Land Title Survey Certification

To Value Homes LLC, a Minnesota limited liability company, American Land & Capital, LLC its successors and/or assigns, as their interests may appear and Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA, and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a)(c), 8, 9 and 11 of Table A thereof.

Field work completed on 5th day of May 2020.

Prepared by:  
**DEMARC**  
LAND SURVEYING & ENGINEERING  
7601 73rd Avenue North  
Minneapolis, Minnesota 55428  
(763) 560-3093  
Demarcinc.com

Signed:   
Gregory R. Prasch Registration No. 24992



**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRAWN: JFC DATE: 9/10/07  
APPROVED: GAS DATE: 9/18/09

**B-624 CURB AND GUTTER**

STANDARD PLATE NO. ROAD-1003

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRAWN: JFC DATE: 9/10/07  
APPROVED: GAS DATE: 9/18/09

**SAW CUT AT CURB AND GUTTER REMOVAL**

STANDARD PLATE NO. ROAD-1010

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRAWN: JFC DATE: 7/28/14  
APPROVED: JSH DATE: 7/28/14

**DRIVEWAY REFERENCE**

STANDARD PLATE NO. ROAD-2000-R1

DRIVE APPROACH DIMENSIONS			
CODE	DIMENSION	RESIDENTIAL	COMMERCIAL
Y	DRIVE APPROACH ANGLE	60-90°	60-90°
W	DRIVE APPROACH WIDTH	12' MIN. 25' MAX.*	12' MIN.* 25' MAX.*
R	RADIUS OF CURVATURE OF CURB FOR DRIVE APPROACH	2.5' MIN. 9' MAX.	5' MIN. 5' STD.*
R1, R2	RADIUS OF CURVATURE	5' MIN. 15' MAX.	5' MIN. 30' MAX.
F	COMMON FRONTAGE CLEARANCE	5' MIN.	5' MIN.
G	DISTANCE BETWEEN DOUBLE DRIVE APPROACHES	30' MIN.*	30' MIN.*
C	CORNER CLEARANCE AT THE INTERSECTION OF TWO MAJOR STREETS	30' MIN.*	30' MIN.*
N/A	CORNER CLEARANCE AT ALL OTHER INTERSECTIONS	20' MIN.*	20' MIN.*
N/A	CLEARANCE FROM BUS STOP ZONE	40' MIN.*	40' MIN.*

NOTE: PERIODIC CHANGES IN THE ABOVE DIMENSIONS WILL BE MADE AS NECESSARY TO IMPROVE TRAFFIC AND SAFETY ON THE PUBLIC STREETS AND SIDEWALKS.  
\*OR AS APPROVED BY THE CITY ENGINEER.

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRAWN: JFC DATE: 7/28/14  
APPROVED: JSH DATE: 7/28/14

**DRIVEWAY REFERENCE**

STANDARD PLATE NO. ROAD-2000-R1

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRAWN: JFC DATE: 9/10/07  
APPROVED: GAS DATE: 9/18/09

**TRANSVERSE CRACK CONTROL JOINTS FOR NEW BITUMINOUS PAVEMENT**

STANDARD PLATE NO. ROAD-5000

NOTES:  
A. THE CUT LOCATIONS SHALL BE AT MANHOLES AND SPACED BETWEEN 30 FEET AND 50 FEET OR AS DIRECTED BY THE PROJECT ENGINEER.  
B. THE CUT SHALL FOLLOW A STRAIGHT LINE OBTAINED BY THE USE OF A SNAP LINE.  
C. TRANSVERSE CRACK CONTROL JOINTS SHALL START AND STOP AT CONTROL JOINTS IN CURB & GUTTER.  
D. THE CUT SHALL BE A WET CUT BY A PAVEMENT SAW AT A WIDTH OF 1/4" AND A DEPTH NOT LESS THAN 1/3 OF THE PAVEMENT THICKNESS.  
E. DIRECTLY FOLLOWING THE CUTTING THE CUT SHALL BE WASHED WITH A PRESSURE HOSE UNTIL THE WATER IS CLEAR, FROM THE CUT.  
F. THE CUT SHALL THEN BE DRIED WITH COMPRESSED AIR.  
G. THE FINALL STEP SHALL BE TO FILL WITH CRACK FILLER MEETING MNDOT SPECIFICATION 3723.

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRW: JFC DATE: 1/4/16  
APP: JSH DATE: 1/20/15

**TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION**

STANDARD PLATE NO. ROAD-2003-R1

NOTES:  
① EXPANSION MATERIAL REQUIRED (SEE MNDOT SPEC BOOK, 2301.3K JOINT CONSTRUCTION). FIRST SECTION NEXT TO COMMERCIAL DRIVEWAY OR ALLEY 6" THICK. 1/2" THICK EXPANSION JOINTS AT 30' INTERVALS (MAXIMUM). EXPANSION TO BE USED WHEN SIDEWALK ABUTS:  
• BUILDING,  
• CURB,  
• OTHER PAVEMENTS INDICATED ON GRAPHIC ABOVE.  
② CONTRACTION JOINT TO BE CENTERED ON SIDEWALK WIDER THAN 9'. CONTRACTION JOINT TO BE PLACED EVERY 6' OR LESS.  
③ DEVELOPMENT PROJECTS SHALL PLACE AND COMPACT 4" OF CLASS 5 AGGREGATE UNDER THE NEW SIDEWALK.  
④ SLOPE TOWARD ROADWAY, 3/16" PER FT. TYPICAL, 1/4" PER FT. MAX. AS CONSTRUCTED.

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRAWN: JFC DATE: 9/10/07  
APPROVED: GAS DATE: 9/19/08

**TYPICAL DRIVEWAY**

STANDARD PLATE NO. ROAD-2002

NOTES:  
FIRST SECTION OF SIDEWALK 6" THICK IF NEXT TO COMMERCIAL DRIVE OR ALLEY APPROACH  
EXPANSION JOINT IF ABUTS PAVEMENT OR STRUCTURE  
MINIMUM 1/2" PER APPROVED PLAN  
REINFORCING BAR  
1/2" EXPANSION JOINT  
1" LIP WITH 1/2" RADIUS ON EDGE  
DRIVE & GUTTER POURED TOGETHER COMMERCIAL 6" THICK RESIDENTIAL 6" THICK

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DRW: JFC DATE: 6/12/15  
APP: JSH DATE: 6/25/15

**TYPICAL DRIVEWAY CONSTRUCTION**

STANDARD PLATE NO. ROAD-2001-R1

NOTES:  
DRIVEWAY APRON AND GUTTER SHALL BE CONSTRUCTED AS A MONOLITHIC POUR. ALLEY AND COMMERCIAL DRIVE 8" THICK. RESIDENTIAL DRIVE 6" THICK.

CITY APPROVAL STAMP

**WELLS & COMPANY**  
ARCHITECTS

612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

PROJECT TITLE:  
**A New 6 Unit Apartment Building**  
2413 1st Ave S  
Minneapolis, MN 55404

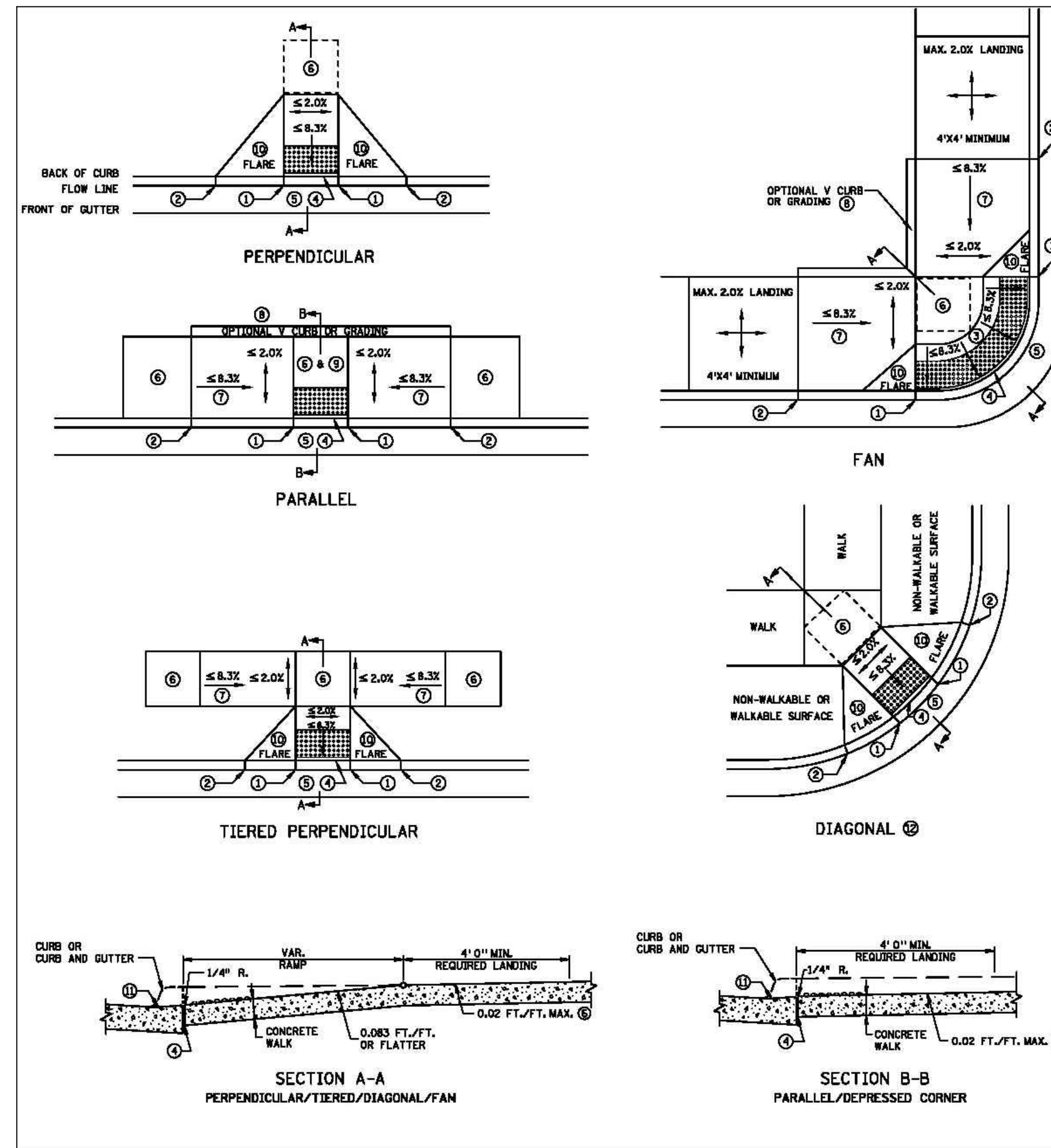
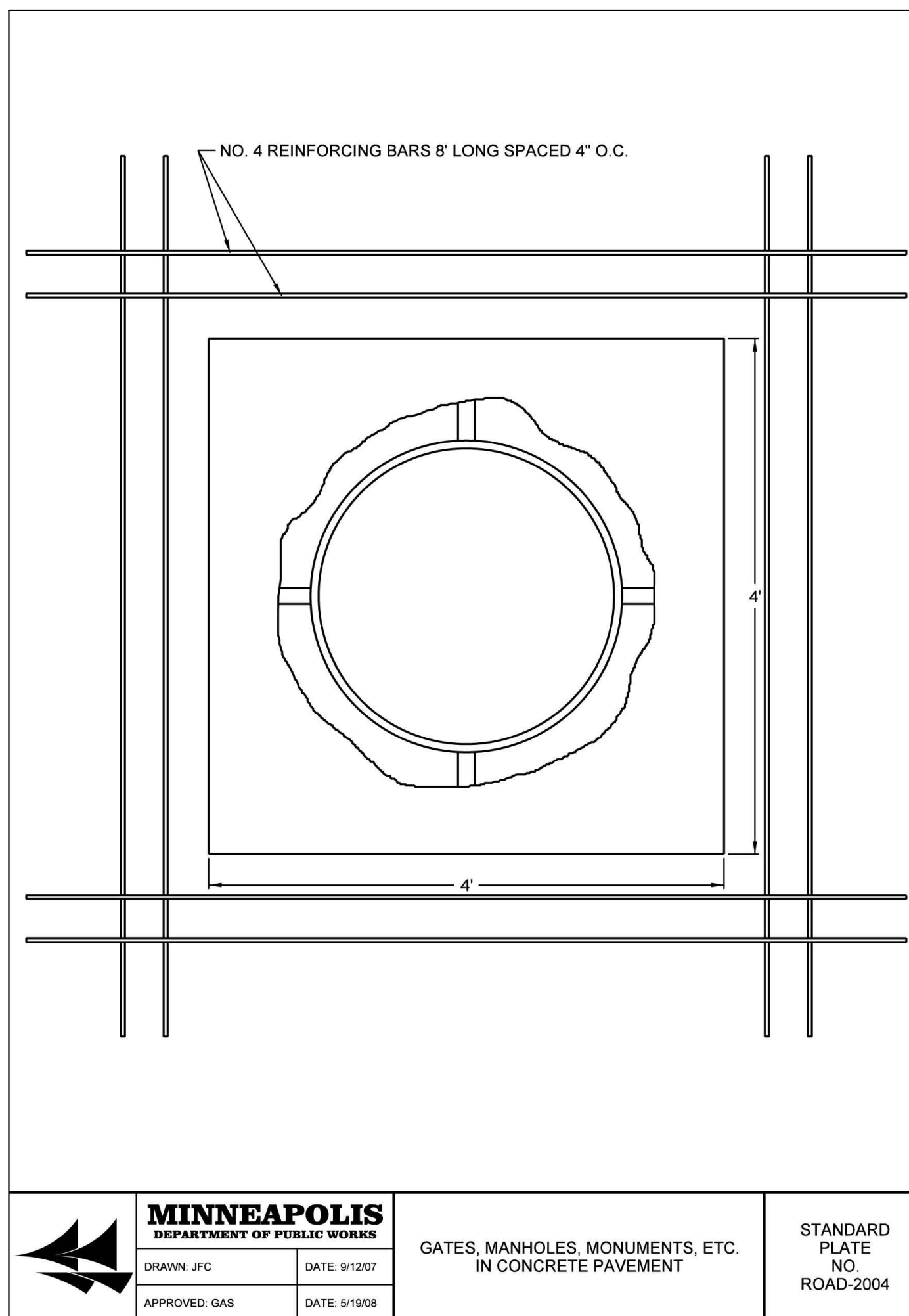
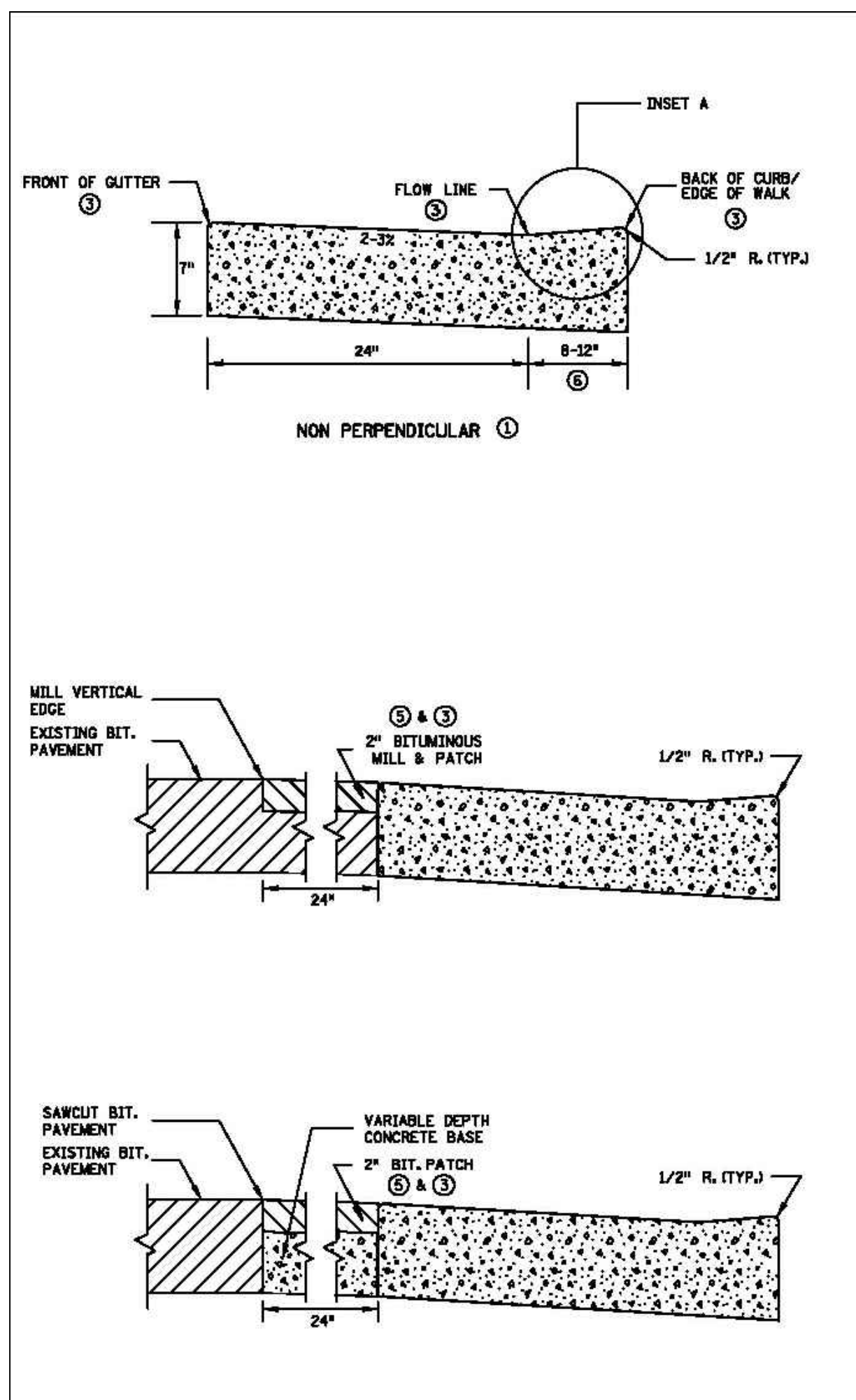
SHEET TITLE:  
CIVIL DETAILS:  
DRIVEWAYS, CURBS  
AND GUTTERS

PROJECT #: 02-2020  
DRAWN BY: WELLS  
CHECKED BY: WELLS  
ISSUE: DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.  
signed: *William M. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615.

SHEET NO:  
**C100**



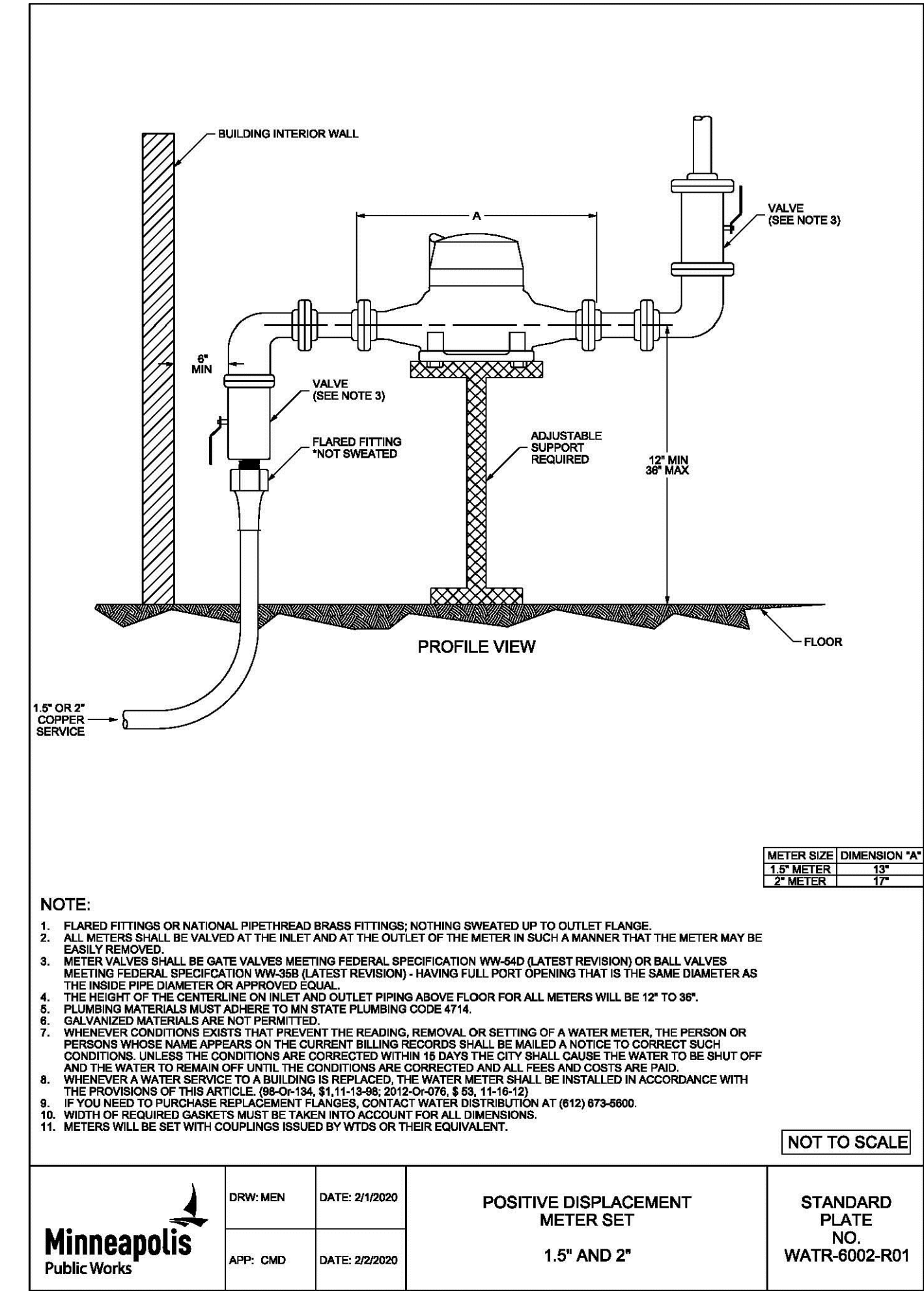
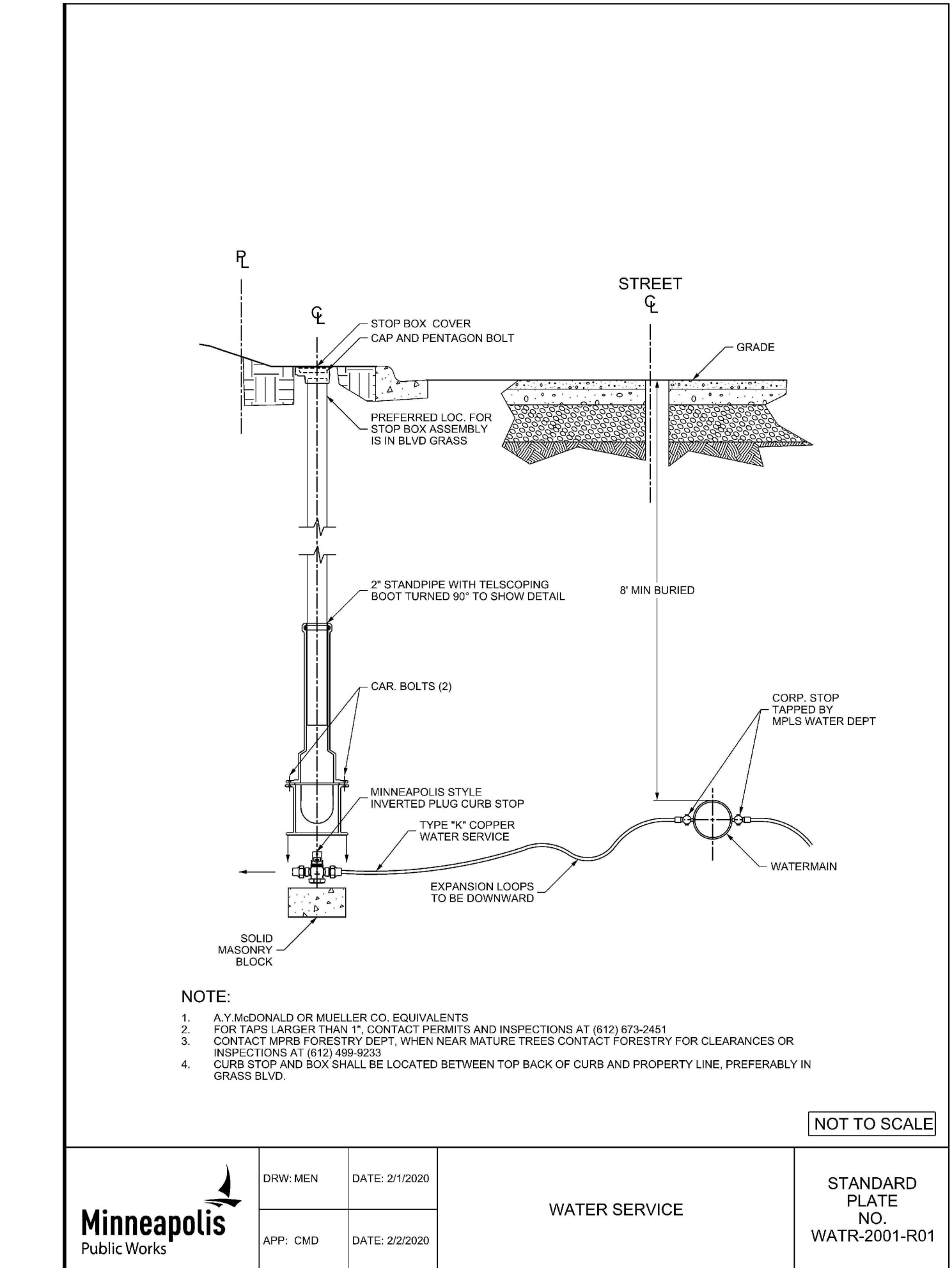
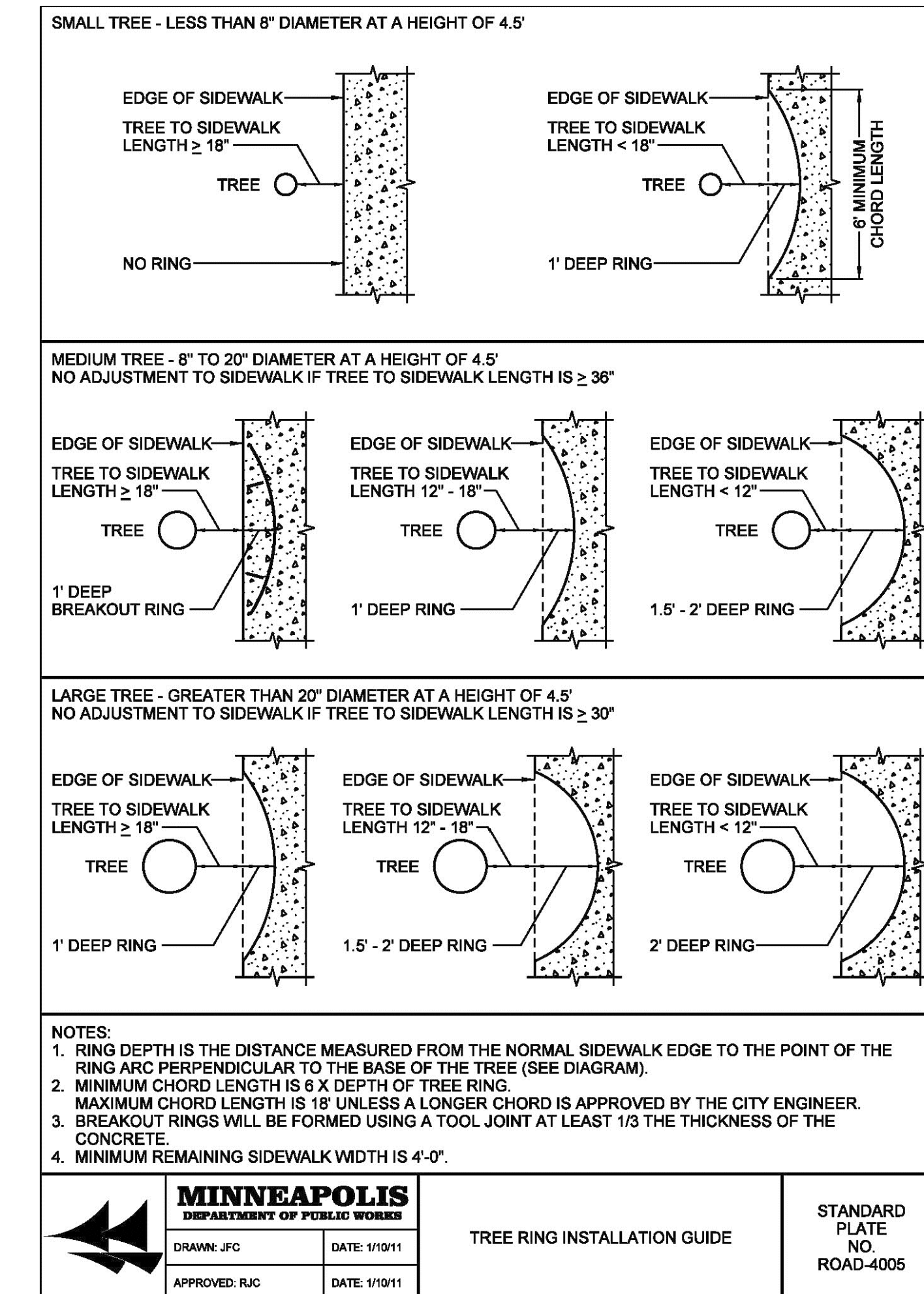
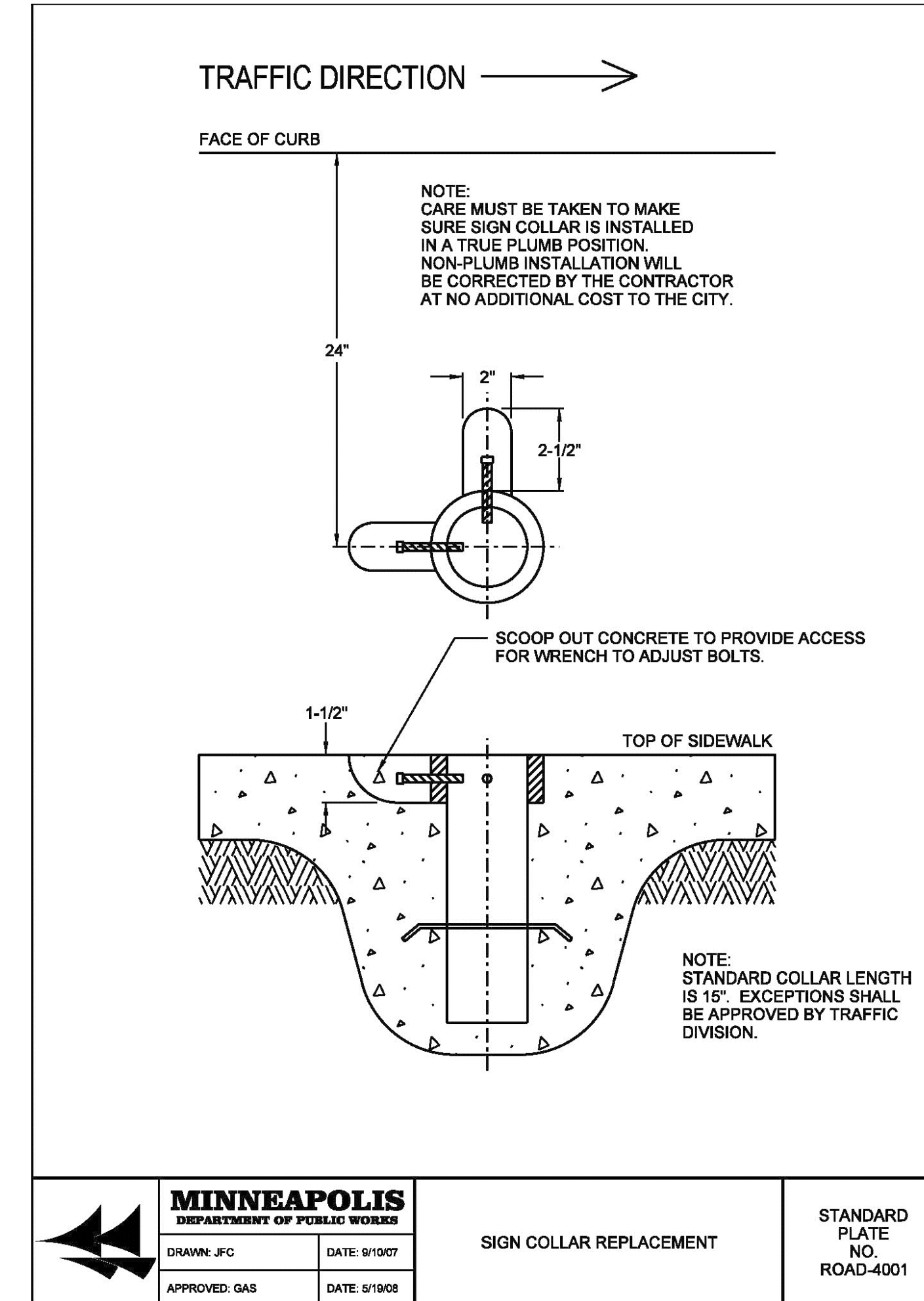


**NOTES:**

- SEE STANDARD PLATE 7038 AND SHEET 4 OF 5 FOR DETAILS ON DETECTABLE WARNING.
- SLOPES ARE SPECIFIED AS ABSOLUTE ELEVATION DIFFERENCE PER LENGTH OF RUN, (AS OPPOSED TO A RELATIVE SLOPE WITH RESPECT TO A CURB LINE OR CURB HEIGHT.)
- LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION AND AT THE TOP OF RAMP THAT HAVE RUNNING SLOPES GREATER THAN 5%.
- INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB WITH 6' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
- SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30' OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS 5% OR GREATER.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED AT ALL GRADE BREAKS.
- TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.
- USE 6" CONCRETE FOR ALL INITIAL RAMP AND LANDING AREAS.
- CONTRACTOR SHALL EMPLOY APPROPRIATE METHODS FOR INTERMEDIATE GRADE CONTROL TO ENSURE ALL GRADE BREAKS ARE CONSTRUCTED PROPERLY.
- ALL GRADE BREAKS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL/PEDESTRIAN ACCESS ROUTE.
- 4" MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMP, SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.
- 0" CURB HEIGHT.
- FULL CURB HEIGHT.
- LESS THAN 5% IS PREFERRED, 5-8.3% SHOULD ONLY BE USED AFTER ALL OTHER SLOPES HAVE BEEN CONSIDERED AND DEEMED IMPRACTICAL.
- 1/2" PREFORMED JOINT FILLER MATERIAL ASHTO M 213, JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SIDEWALK. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNING SHALL BE SET BACK 3" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNING SHALL BE SET BACK 3"-6" FROM THE BACK OF CURB.
- SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONSTRUCTING CURB AND GUTTER AT CURB OPENINGS. SEE SHEET NO. 3 OF 5.
- 4" BY 4" MIN. LANDING WITH MAX. 2% SLOPE IN ALL DIRECTIONS.
- IF RUNNING SLOPE IS LESS THAN 5.0% NO SECONDARY LANDING IS REQUIRED.
- V CURB, IF USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. SEE SHEET 5 OF 5.
- DETECTABLE WARNING MAY BE PART OF 4' X 4' LANDING AREA IF IT IS NOT FEASIBLE TO CONSTRUCT THE LANDING OUTSIDE OF THE DETECTABLE WARNING AREA.
- SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURB.
- SEE SHEET 3 OF 5 FOR FURTHER DETAIL.
- DIAGONAL RAMP SHOULD ONLY BE USED AFTER ALL OTHER CURB RAMP TYPES HAVE BEEN CONSIDERED AND DEEMED IMPRACTICAL.

**STANDARD PLAN SHEET NO. 5-297.250 (1 OF 5) PEDESTRIAN CURB RAMP DETAILS**

STATE PROJ. NO. (TH ) SHEET NO. OF SHEETS



CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
 612-669-2052  
 PO BOX 8589  
 Minneapolis, MN 55408  
 www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
 A New 6 Unit  
 Apartment Building  
 2413 1st Ave S  
 Minneapolis, MN  
 55404

**SHEET TITLE:**  
 CIVIL DETAILS

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.  
 signed: *William M. Wells*  
 William M. Wells, Architect  
 date: 5.22.2020 reg. no. 49615.

**SHEET NO.:**  
 C101



**STANDARD DEMOLITION AND EROSION CONTROL NOTES:**

- Contractor must call for a pre-construction meeting 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in the revocation of permit and stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to beginning construction or land disturbance. (Hay bales are not an acceptable perimeter control)
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone. Use a geo-textile fabric beneath the aggregate in order to prevent migration of soil into the rock from below
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs. Sweeping may be ordered by at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at ALL public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that devices are fully functional for the next rain event. Sediment deposited in and or plugging drainage systems is the responsibility of the contractor. NOTE: Hay bales or filter fabric wrapping the grates are not effective or acceptable form of inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Removal of all materials noted in the plans shall be in accordance with MNDOT, The State of Minnesota, and City Regulations and laws.
- All removed materials shall be disposed of to a legal off-site location.
- Damage done to neighboring properties during construction shall be the contractor's responsibility to repair and restore.
- The contractor must provide a fence and site security to prevent falls.

- Maintain all temp erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temp erosion control and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind, and water within 7 to 14 days. Use seed and mulch, erosion control matting, and or grass sod and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization and permanent vegetation has been established. Final stabilization for the purposes of this removal is 70% established cover over denuded areas.
- Ready mixed concrete and concrete batch plants prohibited within the public right of way. All concrete related production, cleaning, and mixing activities shall be done in designated concrete mixing and washout locations as shown in the erosion control plans. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to the approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate types of devices.
- No Dewatering is needed for this site. If dewatering is needed the contractor must obtain a permit or approval for water discharge.
- Save and protect all trees in the right of way during construction with a chain link fence, and Tree Protection Notes on Sheet L200
- All existing building dimensions are measured to the finished siding and not the building foundation. No search was made for any easements.
- The location of all utilities shown are from either observed evidence in the field and/or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.
- Protect any and all street signs from damage during construction.
- All unused existing water services within the proposed property limits shall be removed and abandoned back to the main per City of Minneapolis standards.

**CALL BEFORE YOU DIG**

THE CONTRACTOR MUST CALL GOPHER STATE ONE CALL BEFORE EXCAVATION. WWW.GOPHERSTATEONECALL.ORG 1-800-252-1166 651-454-0002

**GENERAL EXCAVATION & SHORING NOTE:**

DURING EXCAVATION FOR THE NEW FOUNDATION, THE SLOPES TO THE BOTTOM OF THE EXCAVATION CAN NOT EXCEED 1:1 AND THE CONTRACTOR MUST PROVIDE A FENCE AROUND THE SITE TO PREVENT UNAUTHORIZED ACCESS.

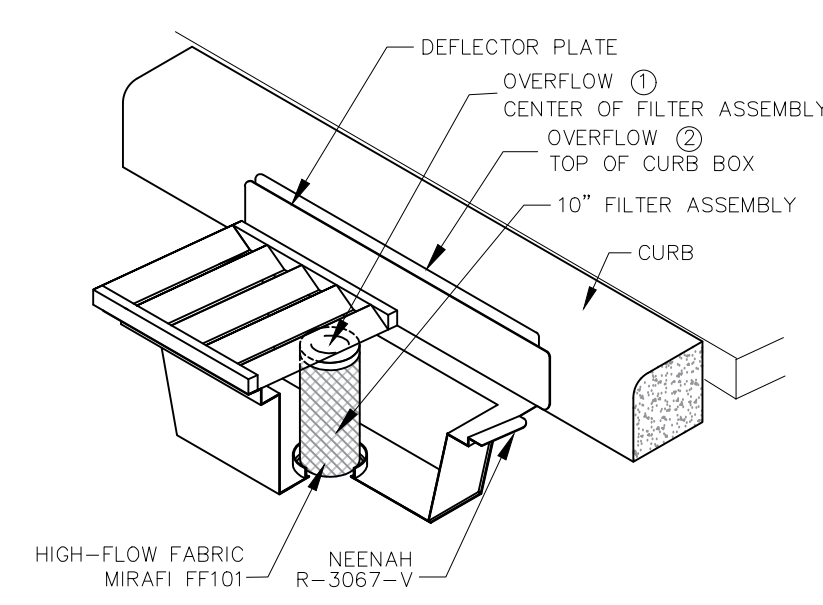
SHORING AND SECURITY FENCE MAY BE REQUIRED. DURING CONSTRUCTION THE CONTRACTOR SHALL DETERMINE IF CONTINUOUS SHORING AND A FENCE FOR FALL PROTECTION ALONG THE PROPERTY LINE AND AROUND THE SITE IS NECESSARY. CONTACT ARCHITECT IF SHORING IS NEEDED.

**SITE SURVEYED BY**

**SURVEY NOTES:**

- All existing building dimensions are measured to the finished siding and not the building foundation.
- No search was made for any easements.
- The location of all utilities shown are from either observed evidence in the field and/or from plans furnished by the utility companies and are approximate. Utility companies should be notified for exact location before doing any excavation.

**WIMCO - CATCH BASIN INLET PROTECTION DEVICE**



**CATCH BASIN NOTES**

- THE CONTRACTOR SHALL INSTALL INLET PROTECTION AT ALL IMPACTED CATCH BASINS NEAR THE SITE.
- REPLACE INLET GRATE AFTER COMPLETE INSTALL OF DEVICE.
- REMOVE ALL SEDIMENT AND DEBRIS FROM THE SURFACE OF THE SYSTEM AFTER EACH STORM EVENT AND AT COMPLETION.
- REFERENCE APPLE VALLEY STANDARD PLATE ER0-4C.

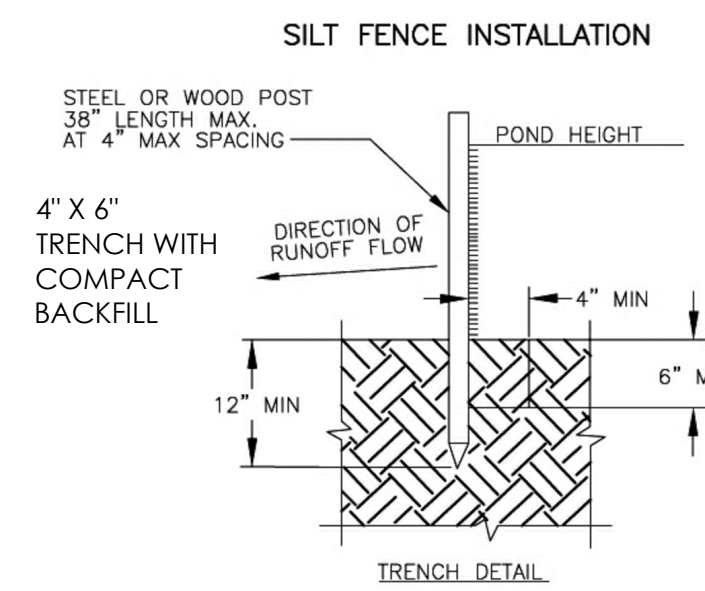
**ZONING:**

**LOT COVERAGE CALCULATION:**

**PROPERTY DESCRIPTION**

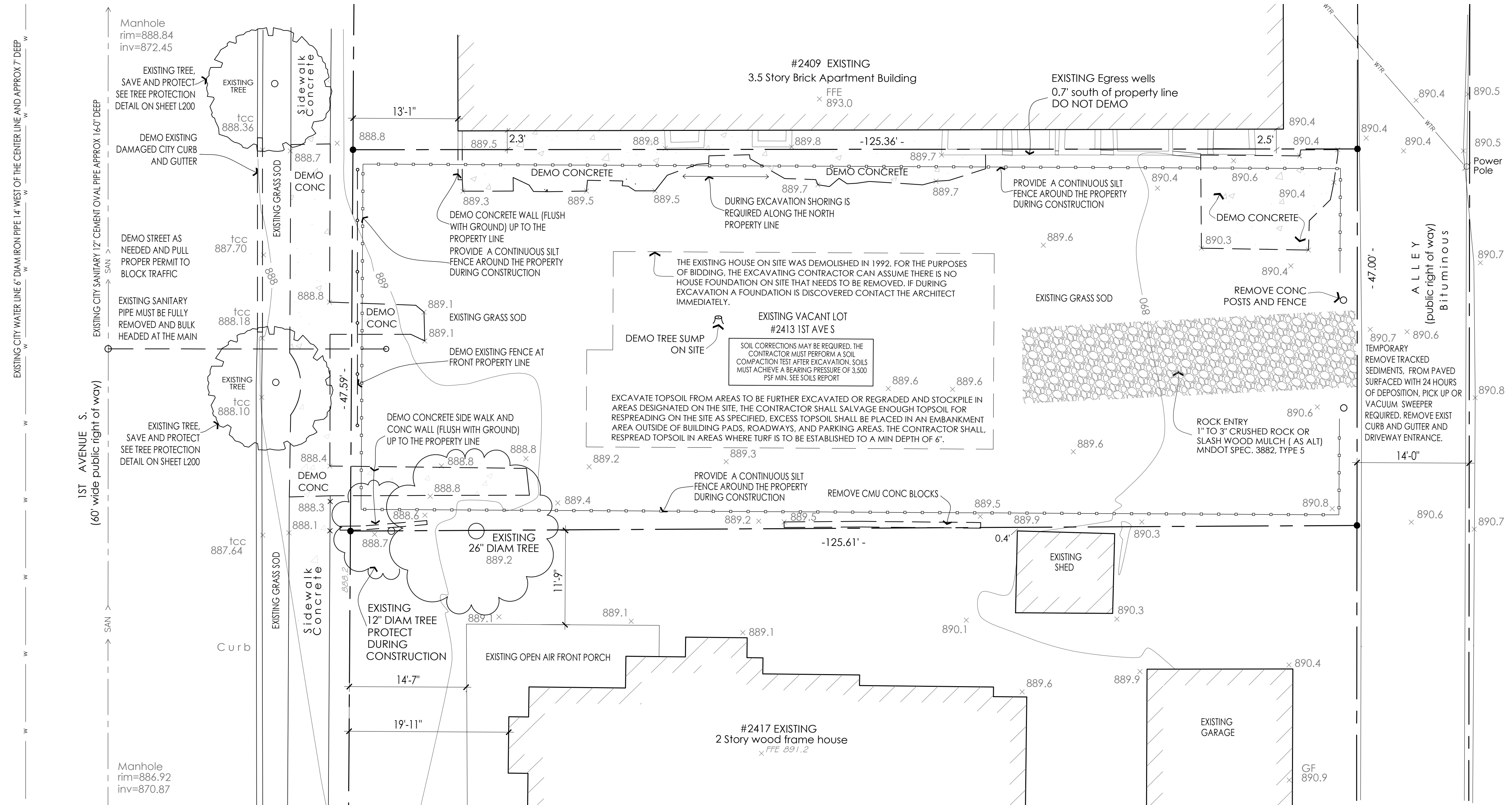
**BENCHMARK**

**SILT FENCE DETAIL**



**SYMBOL KEY**

---	Fence
---OE---	Overhead Electric
---SAN---	Sanitary Sewer
---WTR---	Water Main
---GAS---	Underground Gas
⊙	Manhole
⊙	Power Pole
⊙	Water Shutoff
⊙	Concrete Retaining Wall
x900.0	Existing Elevation
x900.0TC	Top of Curb Elevation
x900.0TW	Top of Wall Elevation
●	Found Iron Monument
○	Set Iron Monument
○	Inscribed R.L.S 15230





**GENERAL SITE PLAN NOTES:**

- See civil sheets C102 for erosion control plan and construction entrance.
- Call the surveyor of record and have the proposed building staked before excavation.
- Parkland Dedication Fee must be paid at the time the contractor picks up the permit. Minneapolis Ordinance 598.340
- Contact Tom Frame 612-673-5807 to schedule an inspection need with Environmental Services to identify and register equipment and processes that impact the environment.
- Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
- All snow shall be removed from the sidewalks.
- There is no long term snow storage on site.
- To protect root zones, no construction equipment or materials shall be placed, parked, or stored on any unpaved area within the drip line of any city owned tree. No chemicals or petroleum products shall be deposited on any unpaved areas in the City-Right-of-Way.
- Any Tree roots encountered are to be cleanly cut using hand tools.
- No open excavation or bore pits allowed within 8' of city trees.
- The Contractor must take care not to damage tree trunks or branches, contractor must contact forestry department inspections at 612-499-9233 at least 3 days prior to starting work to discuss any problems from trees in the City-Right-of-Way.
- Contractor to verify locations and layouts of all site elements prior to beginning construction and have the site property lines staked by the surveyor of record.
- The contractor must obtain all necessary permits prior to construction, including a right of way permit and/or street closure permit.
- The Contractor must obtain soil borings before beginning the work and review the geo technical report.
- The contractor must submit shop drawings and samples of all exterior building materials to the Owner and Architect for review before installation. Including: pavement, furnishings, benches, poles, lights, pavers, canopies, railings, etc.
- Repair all city curb and gutter damaged during construction. Types shall be B624 unless otherwise noted on the plans. See civil sheet C100 and C101

**REQUIREMENTS FOR OUTDOOR LIGHTING**

- Verify light fixture type and location of light fixture with owner before install. See light schedule on sheet E1
- The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code.
- Lighting levels shown on the site plan are in Footcandles.
- Lighting on the exterior must be on a photo sensor located on the roof.
- See sheet E1 for comprehensive list of all light fixture locations, schedules, and switches.
- Per Minneapolis Zoning Code: Lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb unless there is a shield for the light source.
- The lighting must comply with Section 535.590 of the Minneapolis Zoning Code. The lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb unless a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use. The lighting fixtures shall be effectively arranged as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle for residential use, & five (5) footcandles measured at the street, curb or non-residential property line nearest the light source.

**LANDSCAPE DESIGN AND INSTALLATION NOTES:**

- The landscape contractor and all subcontractors shall inspect the site and become familiar with the existing conditions relating to the nature and scope of the work, before providing a bid on the project.
- The landscape contractor shall verify plant layout, drainage, and dimensions on site and bring any discrepancies to the attention of the architect. The landscape contractor shall not change plant types without architect or Owner's written permission. The landscape contractor shall install all new plants and trees after all grading and construction has been completed and provide a one year warranty.
- The landscape contractor shall Sod all existing grass areas disturbed due to grading and construction. Where sod abuts paved surfaces, the finished grade or sod shall be held to 1" below the surface elevation of the paved area. The sod shall be laid parallel to the contours and shall have staggered joints.
- The landscape contractor shall assure compliance with all applicable codes and regulations governing the work and or materials supplied and all plant materials installed comply with the latest edition of the American Standards for Nursery Stock, ANSI Z60.1 unless noted otherwise.

**LANDSCAPE DESIGN AND INSTALLATION NOTES CONTINUED**

- The landscape contractor shall ensure all planting areas receiving ground cover, perennials, or annuals shall receive a minimum of 18" depth of planting soil consisting of at least 45 parts topsoil, 45 parts screened compost or manure and 10 parts sand.
- The landscape contractor shall provide min 4" deep shredded hardwood mulch in all shrub and plant beds as shown on plans, provide a fiber mat weed barrier.
- All trees that are to remain are to be protected from damage with a construction fence at the drip line. See landscape documents.
- There are no known non-storm water discharges on the existing site and no are proposed.
- Grading on this sheet shows the design intent, the contractor must field verify and ensure that no areas are slopes less than 1%. Finished grade shall be uniform and smooth. All disturbed areas shall be restored. All boulevards & neighboring property to be repaired.
- Retaining walls taller than 3'-0" must be designed by a structural engineer.
- See sheet L200 for additional site plan and landscape notes:

**GENERAL NOTE:**

ALL PLANT MATERIALS SHALL CONFIRM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBNESS OF PLANT MATERIALS. ALL PLANTS MUST HAVE A ONE YEAR WARRANTY FROM SUBSTANTIAL COMPLETION DATE. COORDINATE LOCATION OF SHRUBS AND TREES WITH UTILITIES, DOORS, AND SITE FURNISHINGS. ALL TREES AND SHRUBS MUST BE WATERED. If during excavation a water supply well is found the City will be notified, and proper permits will be pulled to seal the well per State of Regulation.

SITE PLAN NOTES CONTINUE ON SHEET L200 ...

REQUIRED LANDSCAPING PER MINNEAPOLIS ZONING CODE	
Per Minneapolis Zoning Code at least 20 percent of the site not occupied by the building must be landscaped and the Applicant must provide one canopy tree per 500 sqft of the required landscaped area. The Applicant must provide at least one shrub per 100 sqft of the required landscaped area.	5,934 sqft Total Lot Area 2,000 sqft of Building Area 3,934 sqft of site area not occupied by building, x 20% required by Zoning Code. 784 sqft required landscaping 2 Canopy Trees Required (1 per 500 sqft) 8 Shrubs Required (1 per 100 sqft)

LANDSCAPE SCHEDULE			
REF	TYPE	NUMBER	NAME AND COMMENTS
1	BIRCH TREE	3	NEW BIRCH TREE. BOTANICAL NAME: River Birch, Betula Niagra. MIN 3" DIAMETER WHEN PLANTED.
2	"PINE" TREE	1	Blue Juniper Pine Tree. Planted at 4'-0" tall.
3	"BOXWOOD" SHRUB	8	SPRINTER BOXWOOD (BUXUS) EVERGREEN SHRUB. 3 GAL.

**BENCHMARK**

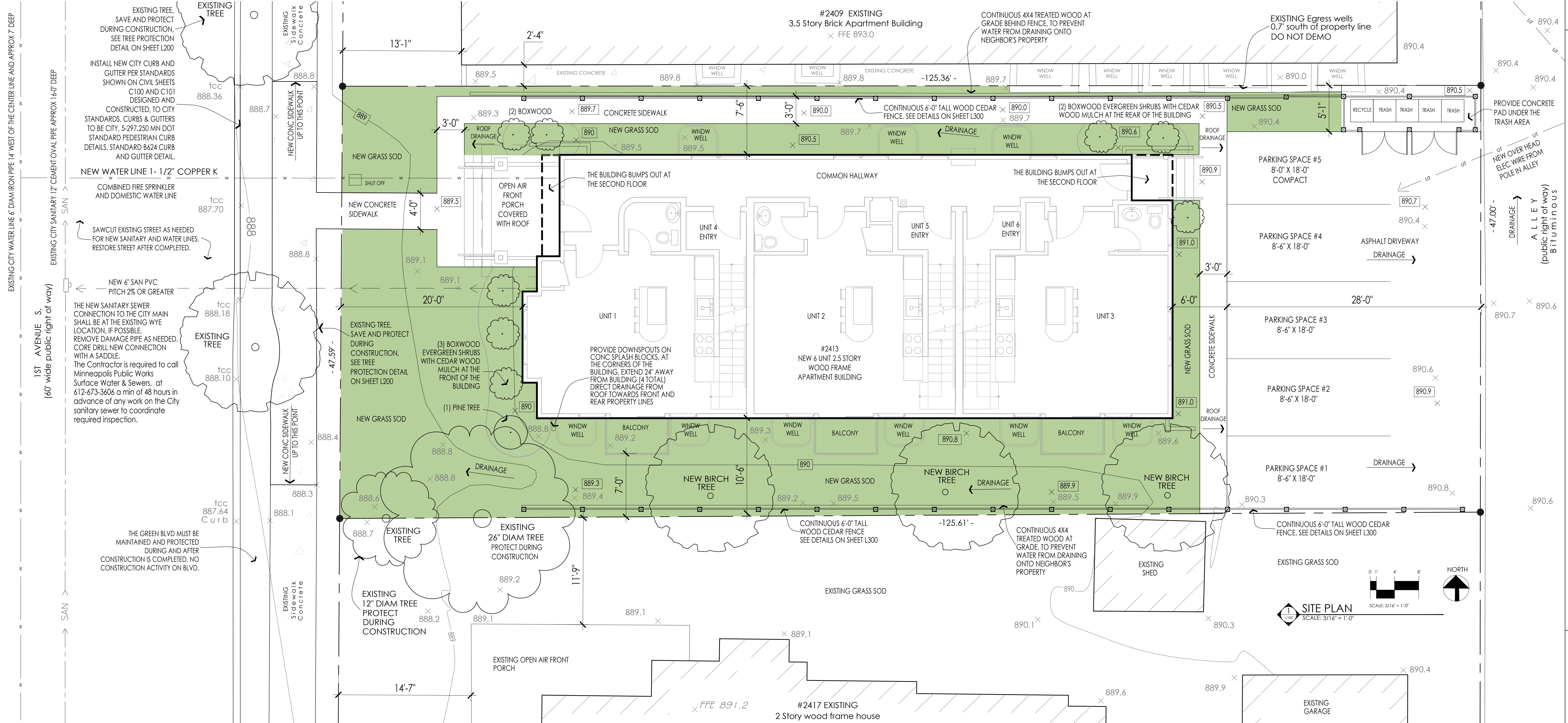
Minneapolis Monument No. 461 located at East 22nd St and Nicollet Ave S. Elev = 894.44

**FIRE HYDRANT LOCATION:**

The nearest fire hydrant is located less than 150' away on the corner of 1st Ave S and 24th St E

**SITE PLAN DATA:**

LOT SIZE	5,934 sqft	
BUILDING FOOTPRINT	2,000 sqft	
SIDEWALKS	600 sqft	
EGRESS WINDOW WELLS	100 sqft	
DRIVEWAY	1,200 sqft	
TOTAL IMPERVIOUS SURFACE	3,900 sqft	66% OF SITE
GRASS AND LANDSCAPING INCLUDES PERVIOUS PAVERS	2,034 sqft	34% OF SITE



CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
A New 6 Unit Apartment Building  
2413 1st Ave S  
Minneapolis, MN 55404

**SHEET TITLE:**  
SITE PLAN

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.  
Signed: *William M. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615.

**SHEET NO:**

**L100**



THE LANDSCAPE CONTRACTOR MUST FOLLOW THE CITY OF MINNEAPOLIS ZONING REQUIREMENTS:

**Plant material standards.**

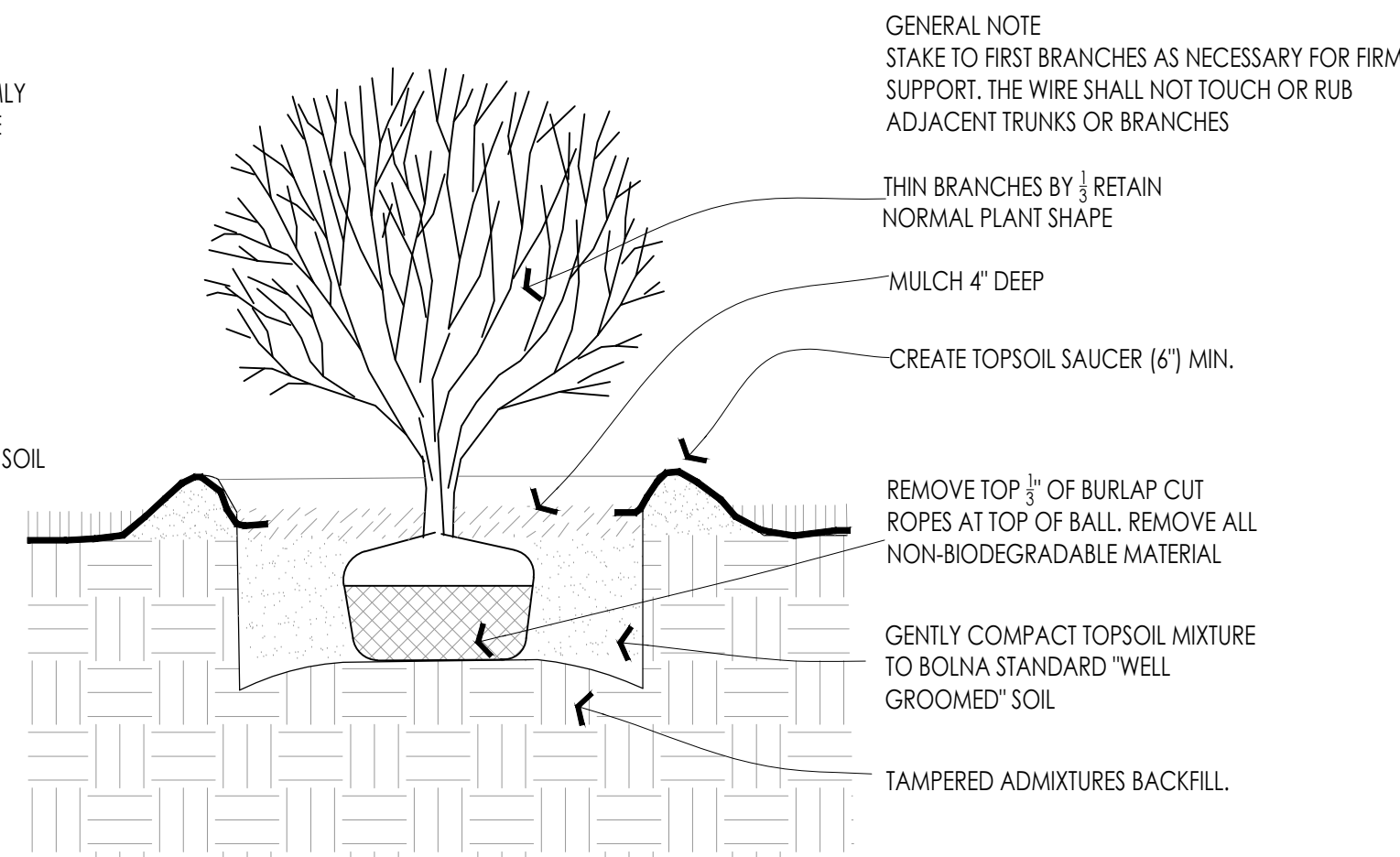
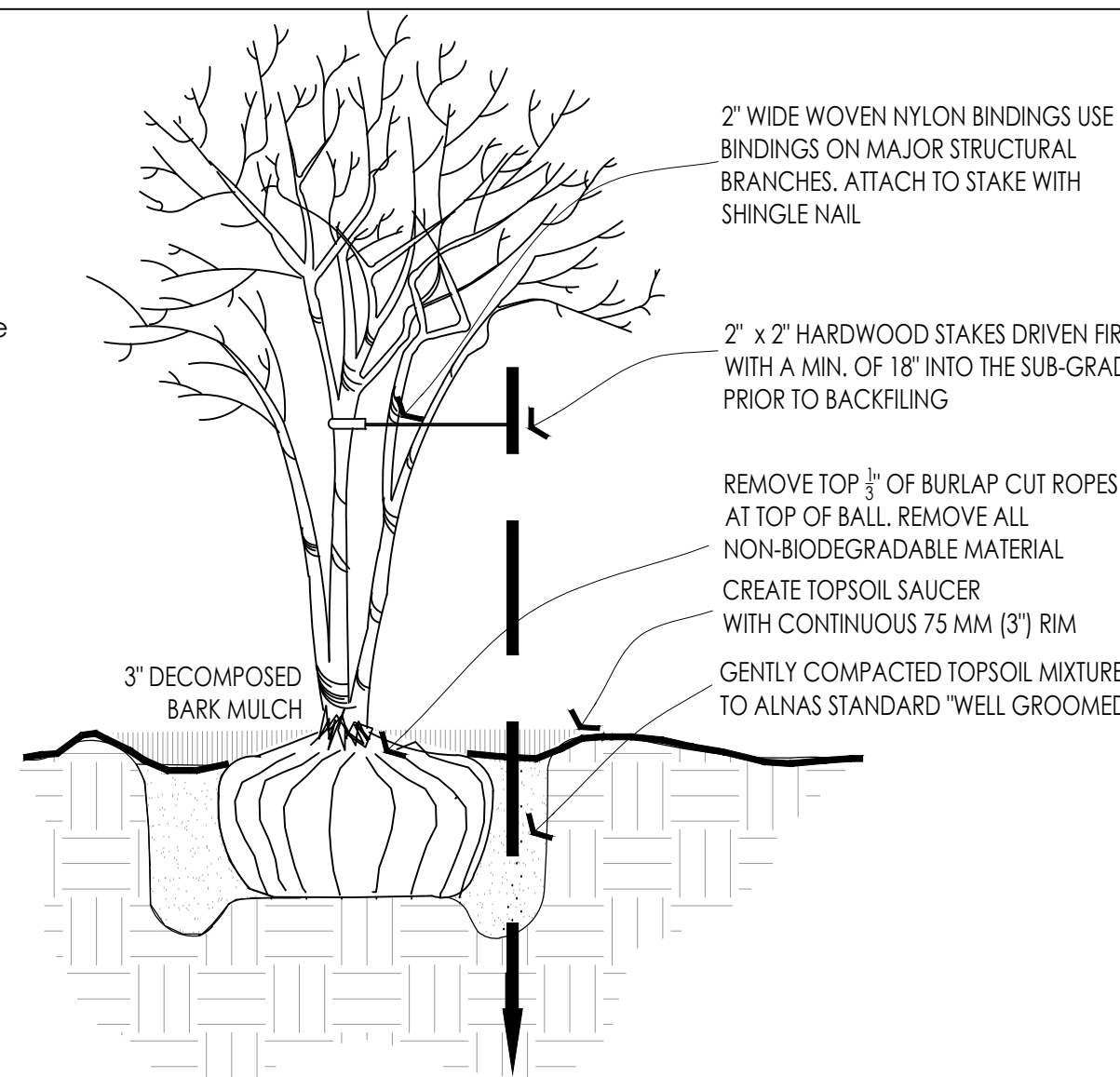
Landscape species shall be indigenous or proven adaptable to the climate, but shall not be invasive on native species. Plant materials shall comply with the following standards:

- All required trees shall be a minimum of two and one-half (2.5) inches caliper in size, except cluster or multiple trunk specimens, which shall be a minimum of one (1) inch caliper in size.
- All required shrubs shall be a minimum of one (1) gallon container size.
- All landscape materials shall be tolerant of specific site conditions, including but not limited to heat, cold, drought and salt.
- Landscape materials that are used for screening shall be of a size that allows growth to the desired height and opacity within two (2) years.

**Installation and maintenance of materials.**

All landscape materials shall comply with the following standards:

- Areas to be landscaped shall be prepared and improved as specified by current Minnesota Department of Transportation standards for soil preparation and drainage.
- All landscape materials shall be installed to current industry standards.
- Maintenance & replacement of landscape materials shall be the responsibility of the applicant or property owner including the maintenance of any trees planted in the public right-of-way. An adequate water supply shall be indicated in the site plan. Landscape maintenance should incorporate environmentally sound management practices, including the following:
  - The use of water and energy efficient systems such as drip irrigation.
  - Pruning primarily for plant health and replacing dead materials annually.
  - Anticipating and allowing plant community succession.



**SHRUB AND TREE PLANTING DETAIL**  
SCALE: 1" = 1'-0"

**GENERAL SITE PLAN NOTES CONTINUED:**

**RIGHT OF WAY NOTES:**

- Temporary and permanent related encroachments in the public right of way requires a permit, contact Robert Boblett at 612-673-2428 for more information.
- Snow storage is not permitted in the public right of way.
- Contact Craig Pinkalla at 612-499-9233 cpinkalla@minneapolis.org regarding any questions related to planting, removal, or the process for protecting trees during construction in the City Right of Way.
- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk & lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/relocation of any City of Mpls signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

**WATER LINE, FIRE SPRINKLER LINE, AND SEWER (UTILITY DESIGN) NOTES:**

- Provide COMBINED FIRE AND DOMESTIC Copper "K" domestic water line services to the building with water shut off valve. The shut off valve must be on private property. See site plan for sizes.
- The meters shall be located in the mechanical rooms.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov).
- There is no non-storm water discharge proposed.
- Contact Rock Rogers at 612-673-2286 to review domestic service design, and connections.
- Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the building to the meter location, and be stubbed 12" above the floor line.
- The sewer line must have a min 2% positive slope from the building mech rm to existing sewer line in the public street.
- The City of Minneapolis Water Treatment & Distribution Services Division requires that domestic water and fire supply service lines shall be sized based upon the total demand and shall be determined in accordance with recognized engineering methods and procedures. The contractor must submit calculations and shop drawings at the time of permitting, designing the domestic water and fire supply systems, and ensuring they are not oversized for their intended use so that turnover is sufficient to maintain water quality. Provide copies of shop drawing and calculations to the Architect and City before installing the water lines.
- Any existing water service connections to the site shall be noted on the plans for removal and shall be removed per the requirements of the **Utility Connections Department** before any new service lines can be installed, call (612) 673-2451 for more information

**CONSTRUCTION CODE SERVICES / BUILDING CODES**

- During excavation for the new foundation, the slopes to the bottom of the excavation can not exceed 1:1 and the contractor must provide a fence around the site at all times to prevent unauthorized access. See structural sheets for shoring specifications.
- A Service Availability Charge (SAC) determination letter from the Met Council must be submitted with the building permit application.
- See floor plans for individual unit addressing. Post signage in the front and in the rear on the building to be readily identified in case of fire or other emergency.

**ENVIRONMENTAL HEALTH**

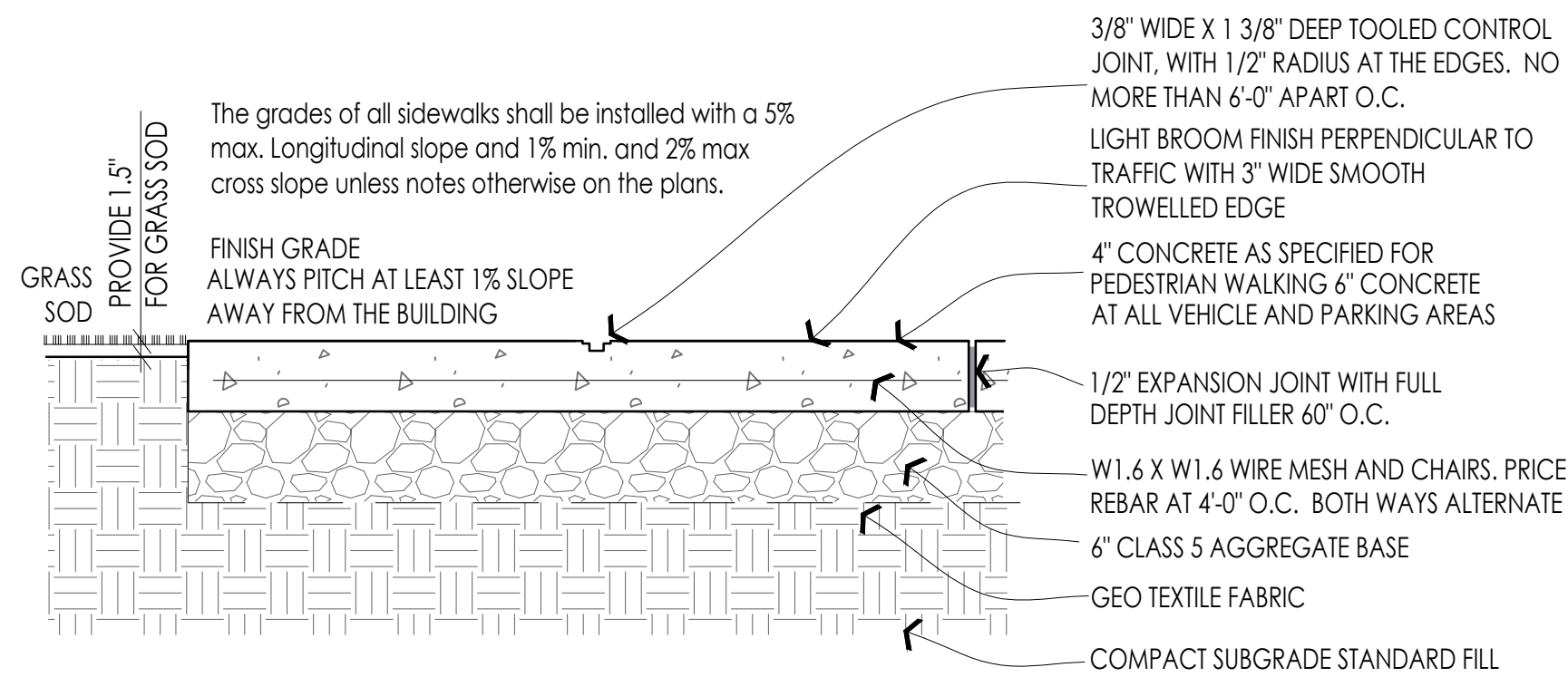
- If impacted soil are encountered, work must stop and notification provided to the MN State Duty officer at 615-649-5451.
- If dewatering is required during site construction see below for city permit requirements. The highest groundwater level expected for this site should be determined and used in establishing the basement floor with allowances water table fluctuations. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- The highest groundwater level expected for this site should be determined and used in establishing the lowest level for subgrade structures. A safety margin of at least two feet is recommended as ground water levels fluctuate and can be affected by local rain events. If soil borings deeper than 15 feet must be done a Temporary Environmental Well permit must be obtained by environmental services. If dewatering is required during site construction, see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition, or commercial power maintenance equipment shall be operated within the City between the hours of 6pm to 7pm on weekdays or during and hours on Saturdays, Sundays, and state and federal holidays, except under permit, Contact Environmental Services at 612-673-3516 for permit information.
- Permits and approvals are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

**STREETS, SIDEWALKS, TRAFFIC AND PARKING NOTES:**

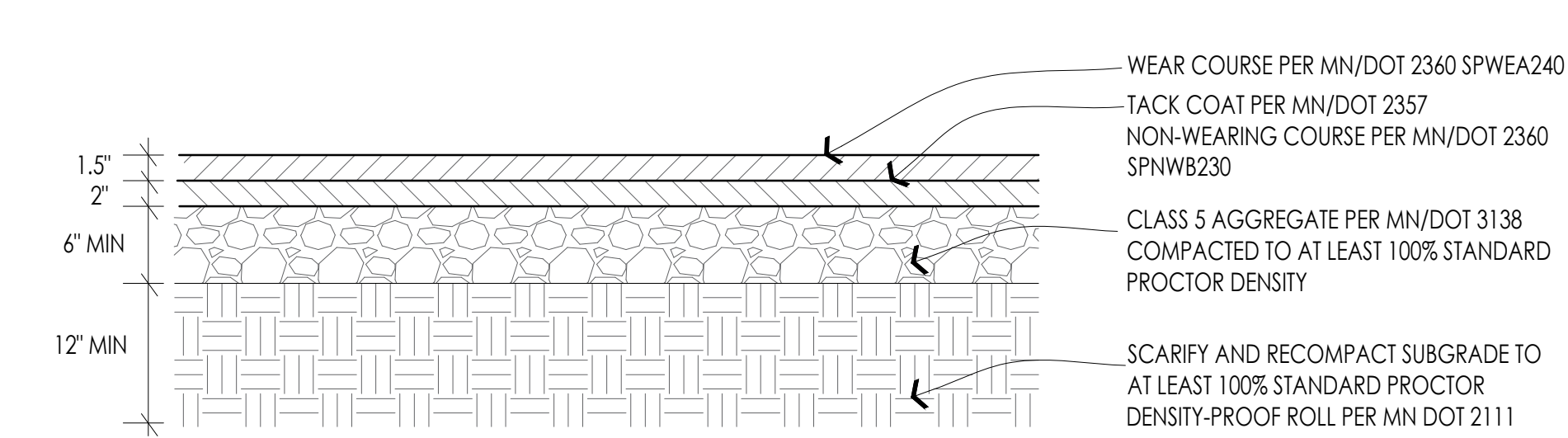
- All driveway aprons, curbs, and gutters must be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets with the correct radii. Please refer to the following: [http://www.minneapolismn.gov/publicworks/plates/public-works\\_road](http://www.minneapolismn.gov/publicworks/plates/public-works_road). For further information contact Paul Miller at (612) 673-3603 or [paul.miller@minneapolismn.gov](mailto:paul.miller@minneapolismn.gov).
- A sidewalk construction permit must be obtained before the start of any work in the public right of way. The contractor must replace any concrete infrastructure in the City right of Way that is damaged during construction. A \$15,000 Sidewalk Contractor's Bond must be obtained from Public Works Sidewalk Inspections prior to the start of any work in the Public right-of-way.
- An obstruction permit is required before any work is performed in the public right of way. Contact Scott Kramer at 612-673-2383 for sidewalk and lane closures.
- All parking lot paint stripping to be white 4" wide typical.
- All trash removal shall occur at the driveway entrance.
- The Owner is responsible for ordering all dumpsters and trash bins
- AN ENCROACHMENT PERMIT IS NEEDED FOR ANY HANDRAILS OR FENCES PROPOSED IN THE PUBLIC RIGHT OF WAY.

**CITY OF MINNEAPOLIS UTILITY NOTES:**

- The contractor or property owner shall contact Minneapolis surface waters and sewers 48 hours prior to any excavation or construction related to or in the location of the proposed stormwater management BMP [contact Paul Chelsen 612-673-2406].
- Upon the project's completion, the general contractor, property owner, or responsible party, shall provide to the department of public works a final stormwater management report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provide for by the construction of the project.
- The contractor shall sawcut and remove public pavements, curbs, and walks, for installation of utilities, upon completion of utility work replace all materials, in kind, and to city standards and approval.
- The contractor shall cut off, plug, and abandon all unused existing sanitary services at right of way line.
- The Contractor and subcontractors shall field verify location and elevations of existing utilities and topographic features prior to construction, the contractor shall immediately notify the architect regarding any discrepancies or variations from the plans.
- All existing utility locations shown are approximate and must be field verified. The Contractor must contact Gopher State One Call at 1-800-252-1166 to locate utilities, 48 hours prior to construction, the contractor shall repair or replace any utilities that are damaged during construction at no cost to the Owner.
- A min of 8'-0" of ground cover is required over all watermain lines, unless otherwise noted, extra depth may be required to maintain a min of 18" vertical separation to sanitary or storm sewer lines. A min of 18' of vertical separation and 10' of horizontal separation is required for all utilities, unless otherwise noted.
- All connections to existing utilities shall be in accordance with City Standards and coordinated with the City prior to Construction. All proposed work in the Public right-of-way shall comply with the current edition of the City of Minneapolis Standard Supplemental Specifications for Construction and Minnesota Department of Transportation Standard Specifications for Construction, current edition and its attachments, please refer to the following website: <http://www.minneapolismn.gov/publicworks/plates/index.htm>



**CONC SIDEWALK AND PARKING AREA**  
SCALE: 1" = 1'-0"



**BITUMINOUS DRIVEWAY AND PARKING LOT**  
SCALE: 1" = 1'-0"

**SIDEWALK NOTES:**

- ALWAYS FOLLOW THE CITY OF MINNEAPOLIS SIDEWALK SPECIFICATIONS SHOWN ON SHEET C0 AND C1.
- INSTALLATION AND REINFORCEMENT SHALL BE CERTIFIED AND IN ACCORDANCE TO AN ON-SITE A.C.I. TECHNICIAN AS SPECIFIED.
- SEE GEO-TECHNICAL RECOMMENDATIONS FOR GROSS WEIGHT REQUIREMENTS.
- SEE LAYOUT DRAWINGS FOR LIMITS OF WALKS.
- SEE CONCRETE JOINT DETAIL FOR REQUIREMENTS.
- 1/2" WIDE EXPANSION JOINT AND SEALANT AT ALL CURBS.
- WIRE MESH AND CHAIRS REQUIRED FOR ALL WALKS OR IN LOCATIONS FOR VEHICULAR TRAFFIC.

**NOTES:**

- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
- TREE PROTECTION FENCE MUST BE MAINTAINED UNTIL COMPLETION OF WORK.
- NO TREE PRUNING SHALL BE DONE EXCEPT BY MPRB PRUNING PERMIT.
- NO STORAGE OF MATERIALS OR OPERATION OF EQUIPMENT MAY TAKE PLACE INSIDE TPZ.

TREE PROTECTION ZONE RADIUS EQUALS 1' FOR EACH 1" OF TRUNK DIAMETER MEASURED AT 4.5' ABOVE GRADE. MODIFIED TPZ REQUIRES PRIOR APPROVAL.

TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 2" X 1/2" OPENINGS, COLOR - ORANGE OR APPROVED EQUAL.

4" X 4" STEEL POSTS OR EQUIVALENT ON MINIMUM 8' SPACING. MAINTAIN EXISTING GRADE WITHIN TPZ UNLESS OTHERWISE INDICATED.

CONTRACTOR MAY ONLY OPEN TRENCH OUTSIDE OF DISTANCES LISTED IN TABLE 287-1. WIRE SUPPLEMENT, OR AS APPROVED BY ENGINEER.

DRW: CP	DATE: 2/18/16	TREE PROTECTION ZONE (TPZ)	STANDARD PLATE NO. FORE-1001
APP: RCS	DATE: 2/18/16		



**TREE PROTECTION SPECIFICATIONS**

**General** - Tree protection has three primary functions: (1) to avoid physical damage from contact by equipment, materials, and activities; (2) to preserve roots and soil conditions in an intact and non-compacted state; and (3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted.

**a. The Tree Protection Zone (TPZ)** is a restricted area around the base of the tree at the drip line with a minimum radius of 1 foot for each inch DBH enclosed by fencing. **No work, storage, or equipment operation shall be performed in this area.**

**b. Tree Protection:** The fence shall enclose the entire area of the TPZ of the tree(s) to be protected for the duration of the construction project. For trees situated within a boulevard or near a sidewalk or driveway, only the planting strip and yard side of the TPZ shall be enclosed with the required protective fencing. **Paved surfaces within the drip line may be excluded from the TPZ.** Modified Tree protection zones may be specified by MPRB Forestry based on site restrictions.

**c. Size, type, and area to be fenced:** All trees to be preserved shall be protected with four (4) foot high fencing. Fencing is to be mounted on heavy duty steel T-posts driven into the ground to a depth of at least one (1) foot, six (6) inches (18" minimum) and no more than eight (8) foot spacing.

**d. Warning Sign:** A weatherproof warning sign shall be prominently displayed on each fence at 20-foot intervals on the tree protection fencing. The sign shall be a minimum 8.5 inches by 11 inches and clearly state: "WARNING - Tree Protection Zone".

**e. Duration:** Tree fencing shall be erected before construction begins and remain in place until final inspection of the project.

**\*An occupancy fence excluding trees from the work area is acceptable provided it meets specified clearance from any trees.**

**\* The applicant shall be responsible for the repair or replacement of any publicly-owned trees that are damaged during the course of construction.**

- The following tree preservation measures apply to all trees to be saved:
  - No storage of material, topsoil, vehicles, or equipment shall be permitted on unpaved surfaces within the TPZ.
  - The ground within the TPZ shall not be altered.

CITY APPROVAL STAMP

WELLS & COMPANY ARCHITECTS  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
[www.WellsandCompanyArchitects.com](http://www.WellsandCompanyArchitects.com)

**PROJECT TITLE:**  
A New 6 Unit Apartment Building  
2413 1st Ave S  
Minneapolis, MN 55404

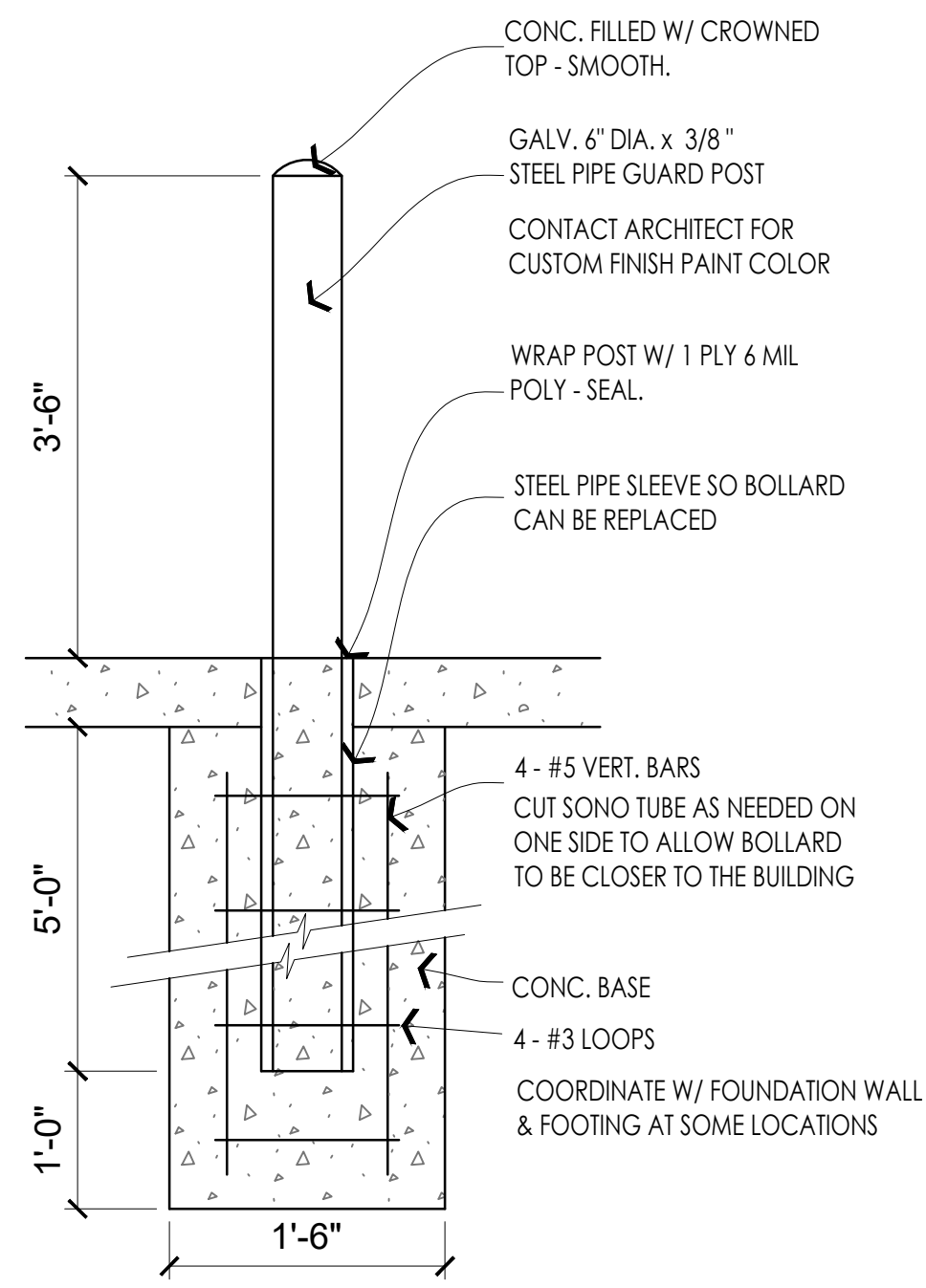
**SHEET TITLE:**  
SITE PLAN DETAILS AND NOTES

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

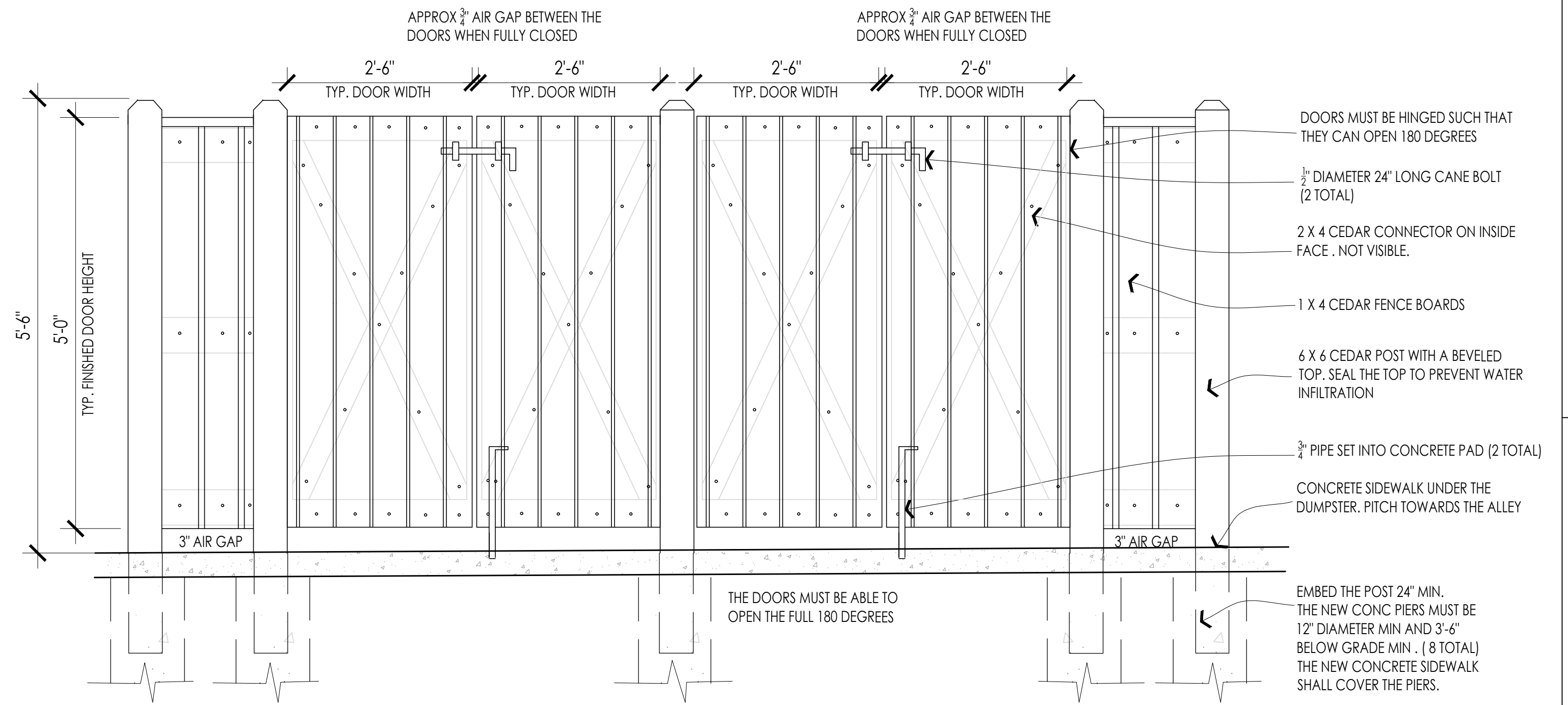
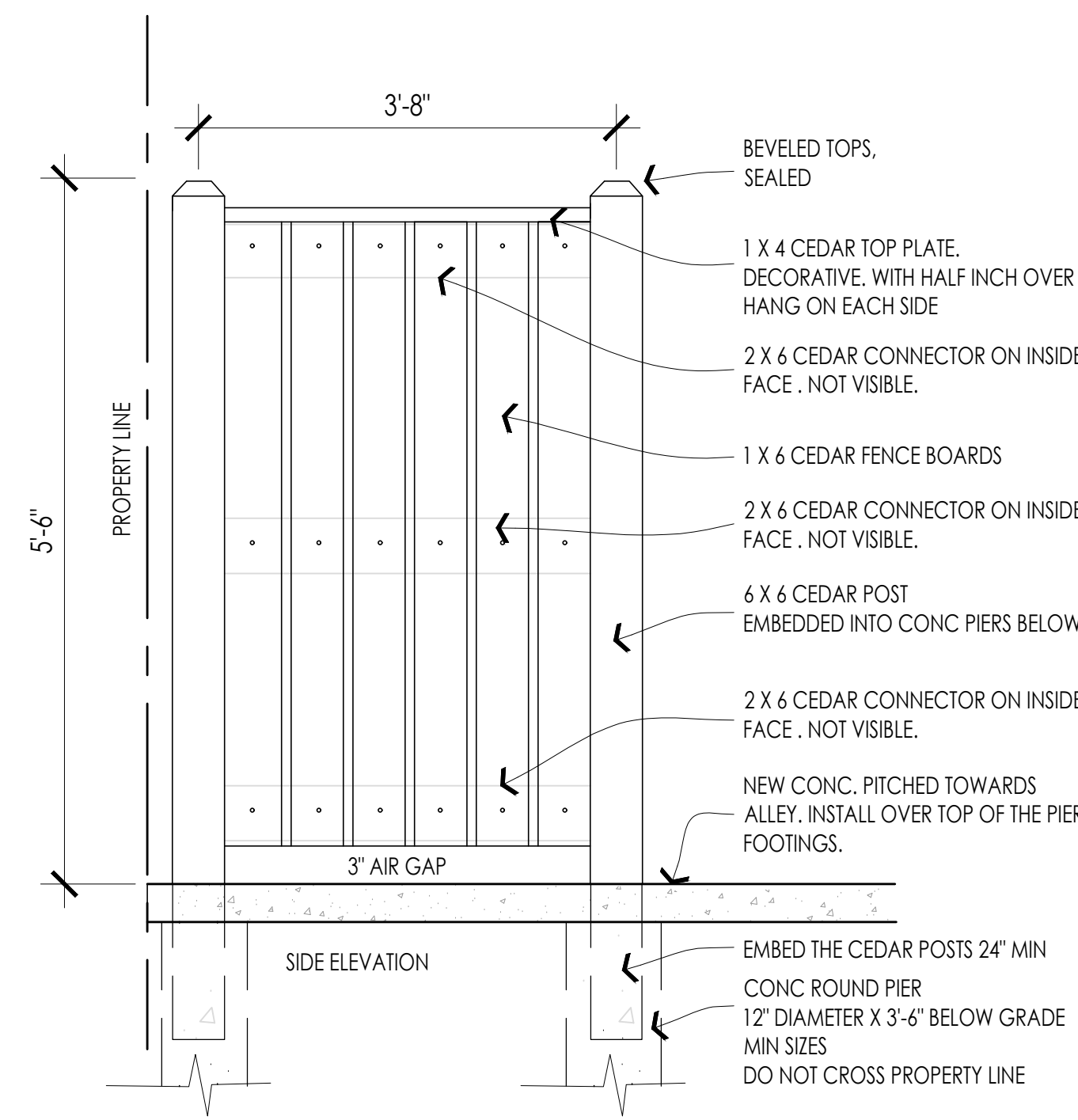
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota  
signed: *W. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615.

**SHEET NO:**  
L200





**BOLLARD DETAIL**  
SCALE: NTS

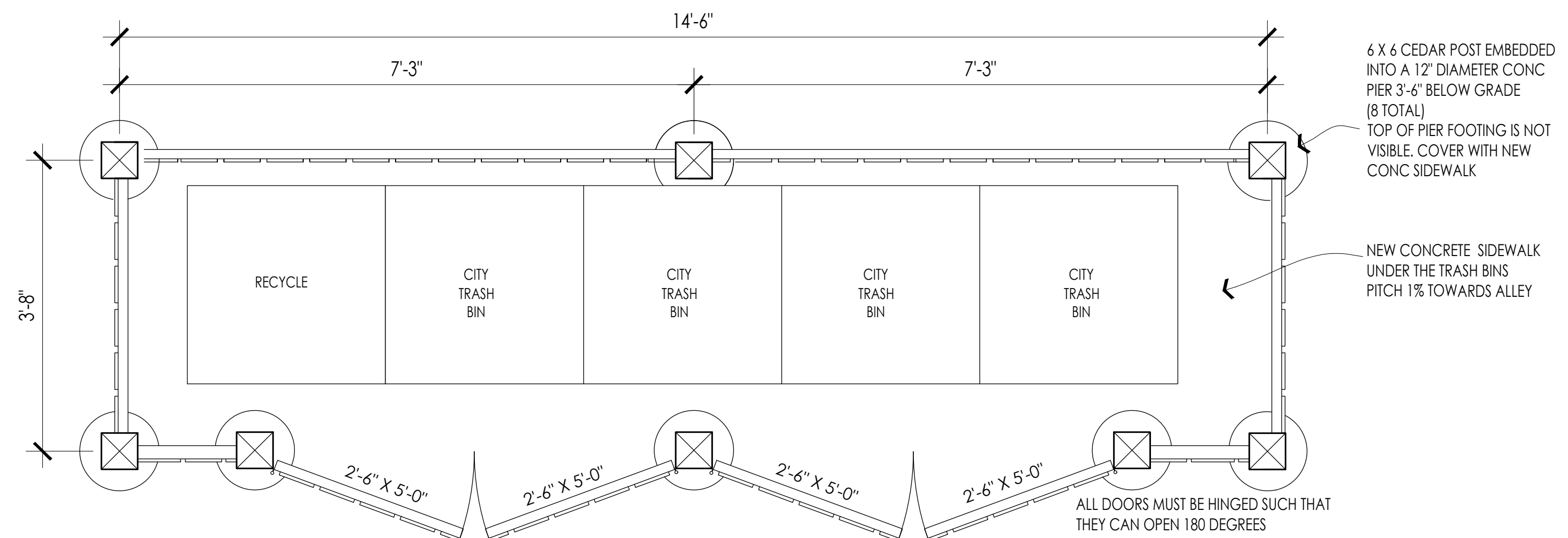


**REQUIREMENTS FOR OUTDOOR LIGHTING**

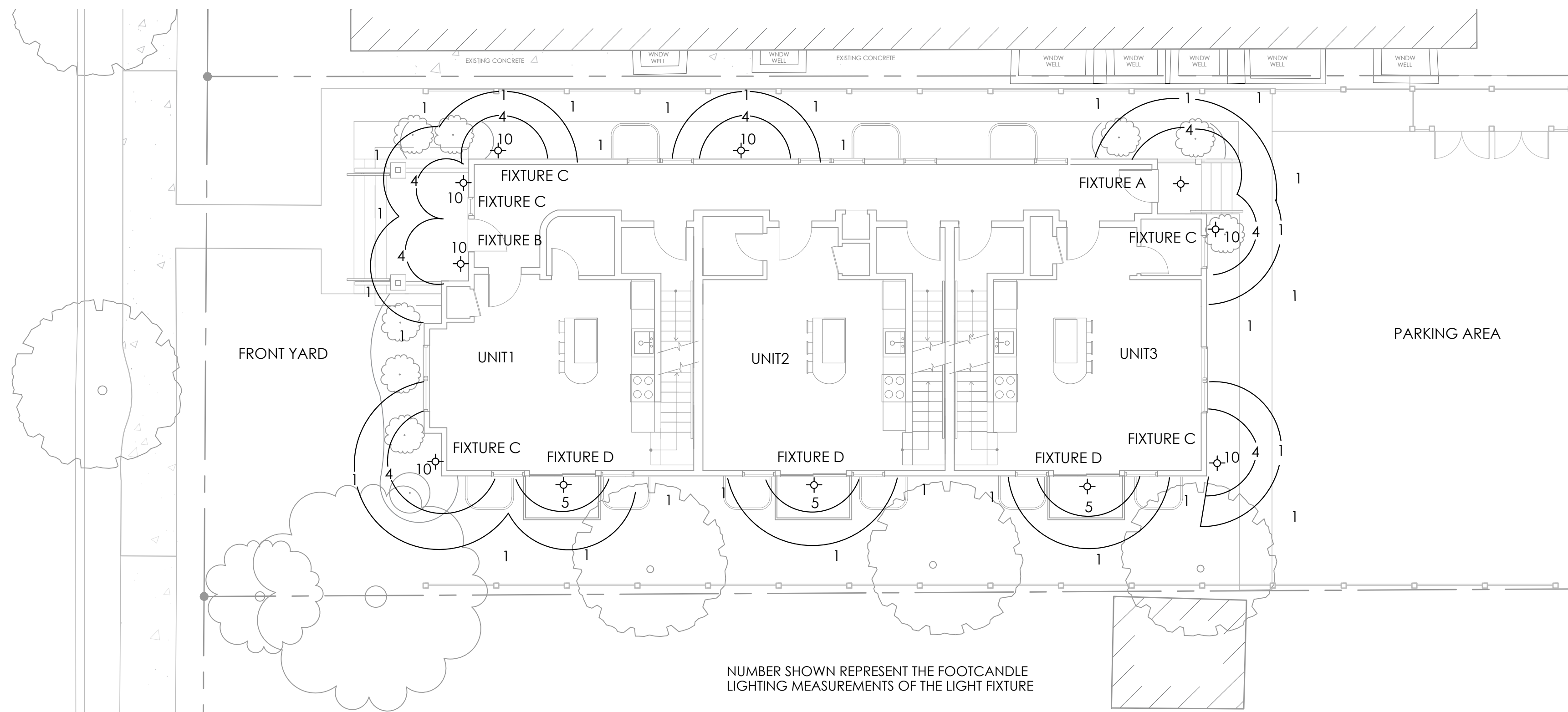
- Per Minneapolis Zoning Code: Lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb unless there is a shield for the light source.
- Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
- Verify light fixture type and location of light fixture with owner before install. see light schedule on sheet E1
- The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code.

- Lighting levels shown on the site plan are in Footcandles.
- Lighting on the exterior must be on a photo censor located on the roof.
- See sheet E1 for comprehensive list of all light fixture locations, schedules, and switches.

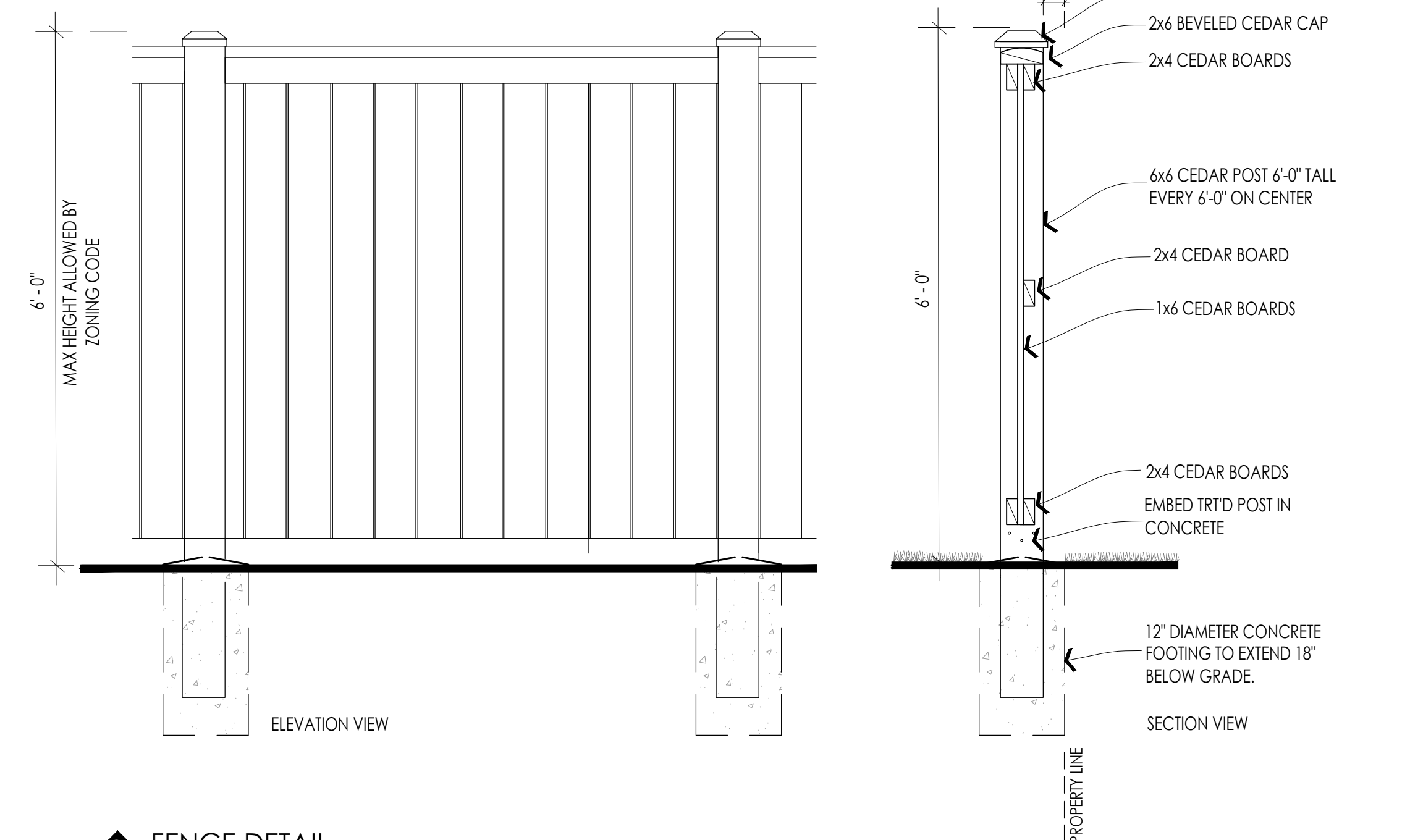
The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code. The lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use. The lighting fixtures shall be effectively arranged as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle for residential use, & five (5) footcandles measured at the street, curb or nonresidential property line nearest the light source.



**TRASH ENCLOSURE**  
SCALE: NTS



**LIGHTING PLAN CALCULATIONS**  
SCALE: NTS



**FENCE DETAIL**  
SCALE: NTS

CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
A New 6 Unit Apartment Building  
2413 1st Ave S  
Minneapolis, MN 55404

**SHEET TITLE:**  
SITE PLAN DETAILS AND NOTES

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota  
signed: *William M. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615

**SHEET NO:**  
L300



**GENERAL NOTES:**

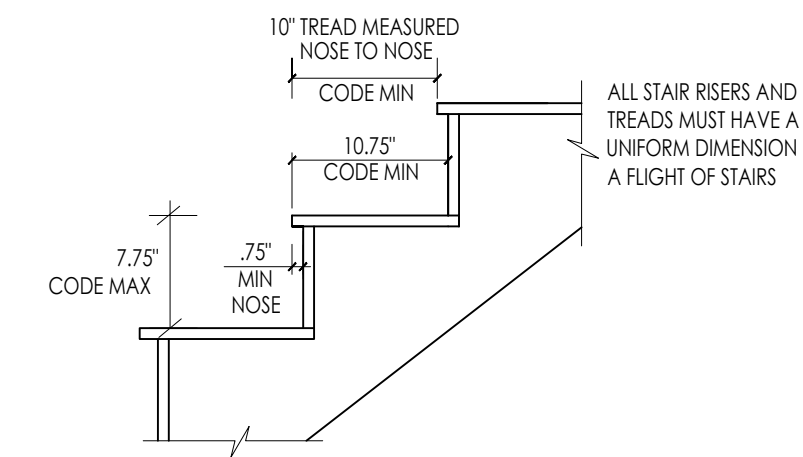
- Any wood touching concrete must be treated wood.
- See structural sheets for footing and foundation specifications.
- All mechanical, electrical, and plumbing is design-build.
- All subs must verify plumbing and mechanical layouts with owner prior to install.
- The following subcontractors and consultants must provide shop drawings to architect for review:
  - HVAC / Mechanical subcontractor
  - Floor & Roof truss manufacturer
  - Window and door shop drawings
  - Fire sprinkler drawings
- Always slope concrete and soils around the building away from the foundation. 2% min slope.
- See "T sheets" for wall types and wall construction details.
- See sheet E1, E2, for electrical and lighting plan.
- The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
- All dryers must vent to the exterior. Insulate ducts to R-8 continuous 3'-0" from exterior wall. Always provide a floor drain near the washer / dryer in all units.
- In the case of ambiguities, discrepancies, or irregularities, in the drawings, the contractor must request clarification from the architect before proceeding. Liability for proceeding without obtaining clarification from the architect will be borne solely by the contractor.
- Do not scale the drawings to build walls or install windows, fixtures, or purchase equipment.
- The general contractor and all subcontractors must visit the site prior to providing bids. The general contractor is responsible for field verifying all dimensions and existing conditions prior to construction.
- All toilets must have a min 18" clear space on each side from the centerline of the toilet to the face of the finished wall.
- All bedrooms must contain a smoke detector, and carbon monoxide detector within 10' of the bedroom door. All bedrooms must have a closet, egress window, and electrical outlets and fixtures per code. Smoke detectors shall be provided in accordance with UL 217 & installed in accordance with MNIBC & NFPA 72

- All windows that are operable shall be equipped with a screen and fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
- Carbon monoxide alarms required in accordance with MN Stat 299F.50. Can not be more than 10'-0" from a bedroom door.
- Interior and exterior signage required to identify unit numbers.
- HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
- Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
- ALL BEDROOMS MUST HAVE AUDIBLE FIRE ALARMS.**
- Radon mitigation required in the building. See "T sheets" for specs. Provide electrical outlet in the attic for future radon fan as required by code. see "T sheets" for specs.
- All outlets in kitchen and bathrooms must be GFI outlets.
- Max allowable floor truss deflection allowed for truss design is 0.75" under max load.
- The general contractor shall call Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
- Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5 feet from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
- Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.

**2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS**

- In Group R2 occupancies, the maximum riser height shall be 7.75" and the minimum tread depth shall be 10". A nosing not less than .75" but not more than 1.25" shall be provided on stairways with solid risers where the tread depth is less than 11"
- The min width of a stairway in a dwelling unit is 36"
- Stairways shall have a min head room clearance of 80"
- Handrails shall be 34" to 36" above the stair tread

**STAIR SECTION ALLOWED INSIDE A DWELLING UNIT:**



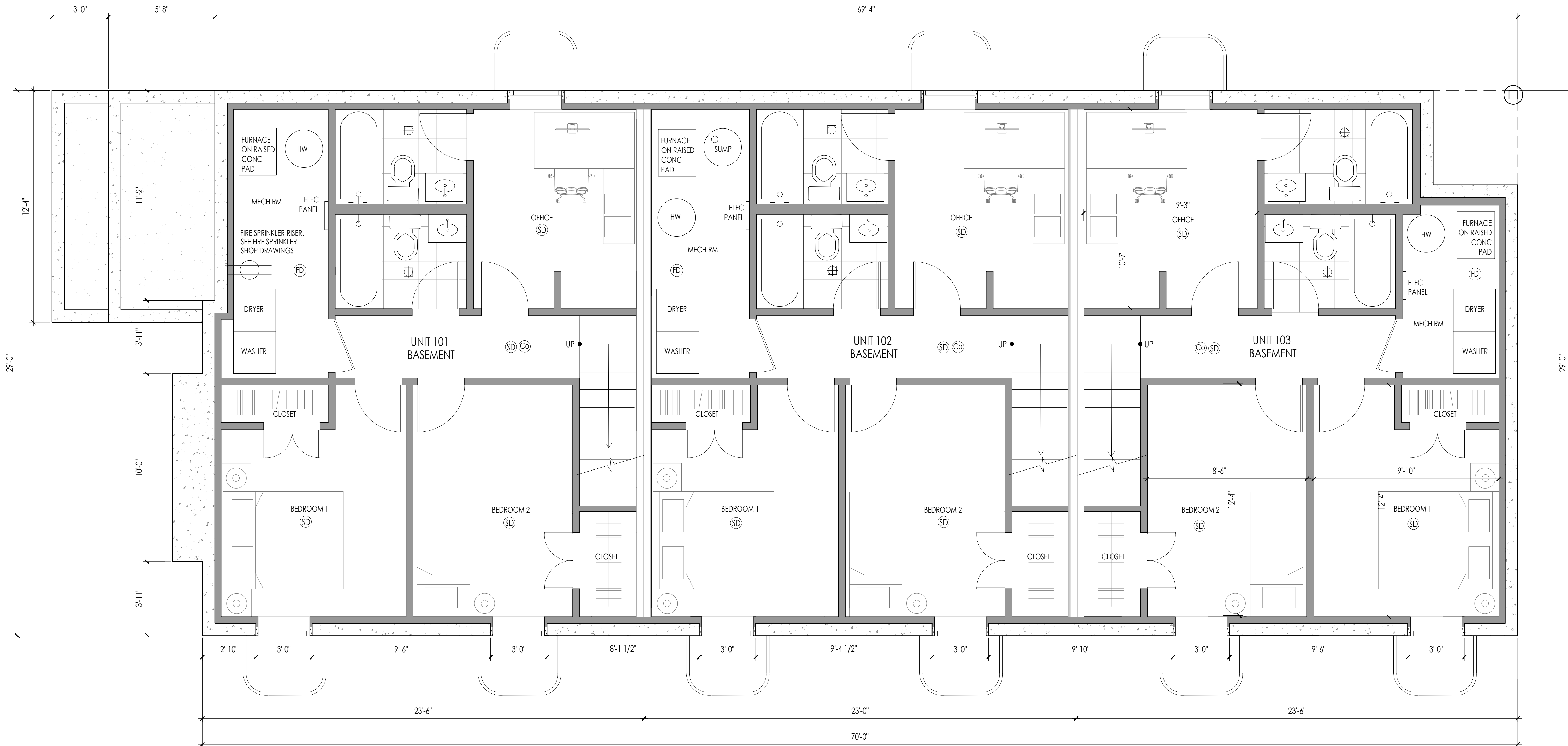
**GENERAL STRUCTURAL NOTES:**

- ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
- CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
- MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.75" OF TOTAL DEFLECTION. UNDER MAX LOAD CONDITIONS.

**SYMBOL KEY AND WALL TYPES**

- CONC FOUNDATION WALL
- EXTERIOR 2X6 INSULATED WALL
- INTERIOR 2X4 LOAD BEARING WALL
- INTERIOR 2X4 NON-LOAD BEARING WALL
- SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP
- WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON T SHEETS
- BATHRM FAN RECESSED INTO CEILING VENT TO EXTERIOR, PROVIDE R8 INSULATION

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE SPRINKLED TO NFPA 13-R BECAUSE THE BUILDING IS MORE THAN 4,500 SQFT.



CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
 612-669-2052  
 PO BOX 8589  
 Minneapolis, MN 55408  
 www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
 A New 6 Unit Apartment Building  
 2413 1st Ave S  
 Minneapolis, MN 55404

**SHEET TITLE:**  
 BASEMENT FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.  
 signed: *William M. Wells*  
 William M. Wells, Architect  
 date: 5.22.2020 reg. no. 49615

**SHEET NO:**  
**A0**



**GENERAL NOTES:**

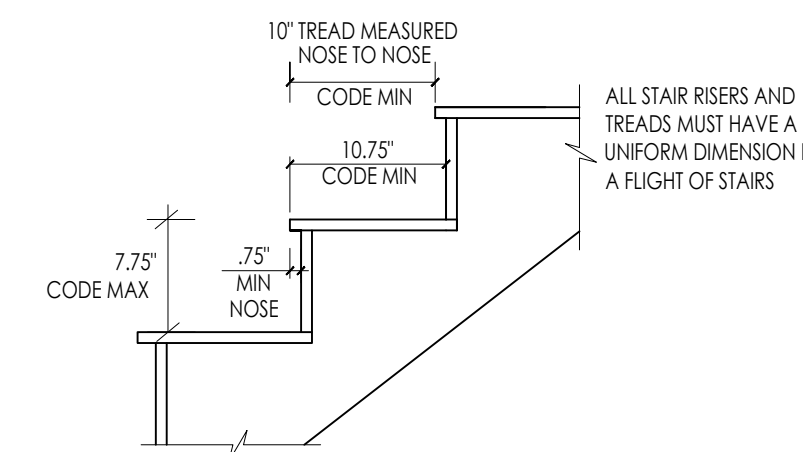
- Any wood touching concrete must be treated wood.
- See structural sheets for footing and foundation specifications.
- All mechanical, electrical, and plumbing is design-build.
- All subs must verify plumbing and mechanical layouts with owner prior to install.
- The following subcontractors and consultants must provide shop drawings to architect for review:
  - HVAC / Mechanical subcontractor
  - Floor & Roof truss manufacturer
  - Window and door shop drawings
  - Fire sprinkler drawings
- Always slope concrete and soils around the building away from the foundation. 2% min slope.
- See "T sheets" for wall types and wall construction details.
- See sheet E1, E2, for electrical and lighting plan.
- The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
- All dryers must vent to the exterior. Insulate ducts to R-8 continuous 3'-0" from exterior wall. Always provide a floor drain near the washer / dryer in all units.
- In the case of ambiguities, discrepancies, or irregularities, in the drawings, the contractor must request clarification from the architect before proceeding. Liability for proceeding without obtaining clarification from the architect will be borne solely by the contractor.
- Do not scale the drawings to build walls or install windows, fixtures, or purchase equipment.
- The general contractor and all subcontractors must visit the site prior to providing bids. The general contractor is responsible for field verifying all dimensions and existing conditions prior to construction.
- All toilets must have a min 18" clear space on each side from the centerline of the toilet to the face of the finished wall.
- All bedrooms must contain a smoke detector, and carbon monoxide detector within 10' of the bedroom door. All bedrooms must have a closet, egress window, and electrical outlets and fixtures per code. Smoke detectors shall be provided in accordance with UL 217 & installed in accordance with MNSBC & NFPA 72

- All windows that are operable shall be equipped with a screen and fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
- Carbon monoxide alarms required in accordance with MN Stat 299F.50. Can not be more than 10'-0" from a bedroom door.
- Interior and exterior signage required to identify unit numbers.
- HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
- Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
- ALL BEDROOMS MUST HAVE AUDIBLE FIRE ALARMS.
- Radon mitigation required in the building. See "T sheets" for specs. Provide electrical outlet in the attic for future radon fan as required by code. see "T sheets" for specs.
- All outlets in kitchen and bathrooms must be GFI outlets.
- Max allowable floor truss deflection allowed for truss design is 0.75" under max load.
- The general contractor shall call Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
- Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5 feet from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
- Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.

**2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS**

- In Group R2 occupancies, the maximum riser height shall be 7.75" and the minimum tread depth shall be 10". A nosing not less than .75" but not more than 1.25" shall be provided on stairways with solid risers where the tread depth is less than 11"
- The min width of a stairway in a dwelling unit is 36"
- Stairways shall have a min head room clearance of 80"
- Handrails shall be 34" to 36" above the stair tread

**STAIR SECTION ALLOWED INSIDE A DWELLING UNIT:**



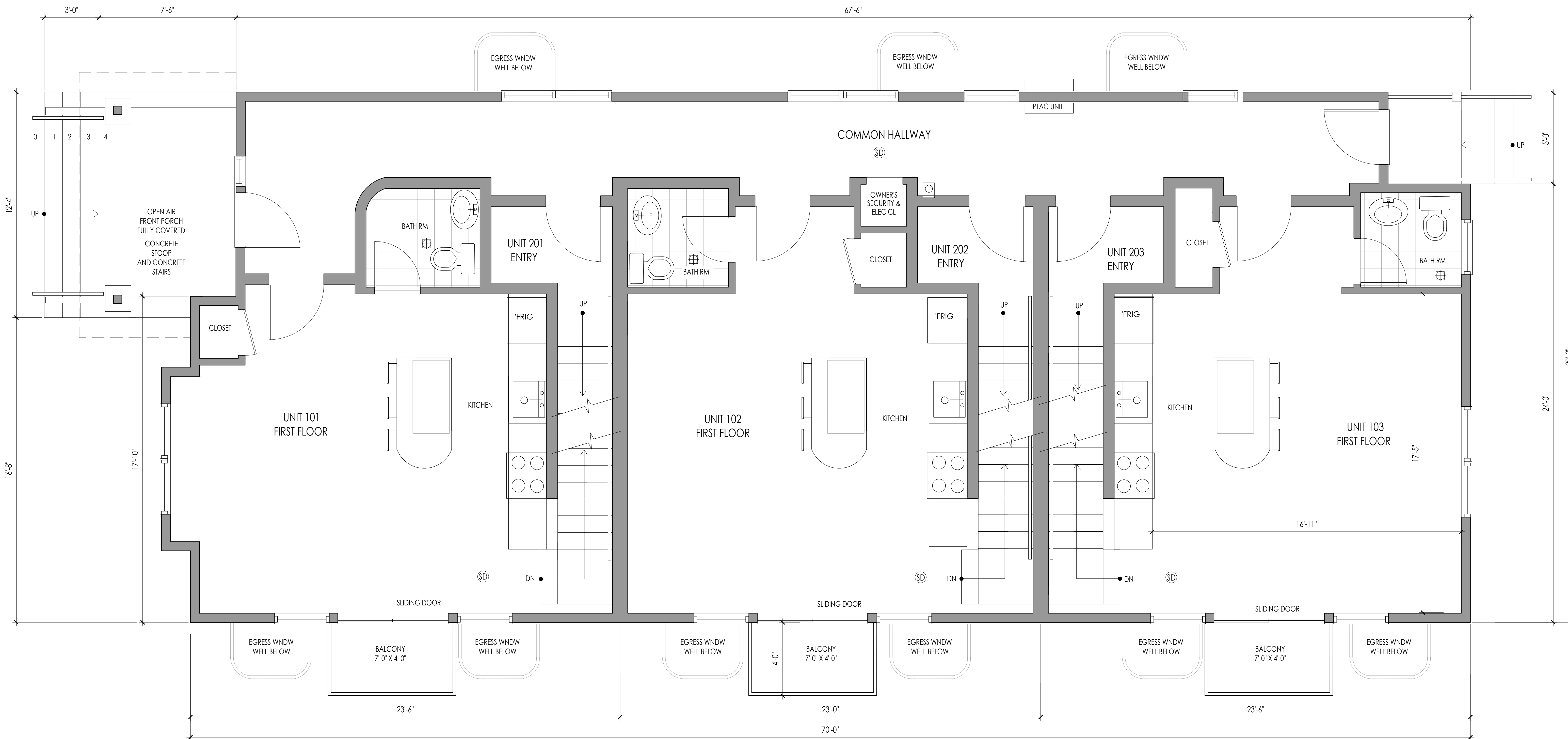
**GENERAL STRUCTURAL NOTES:**

- ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
- CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
- MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.75" OF TOTAL DEFLECTION, UNDER MAX LOAD CONDITIONS.

**SYMBOL KEY AND WALL TYPES**

- CONC FOUNDATION WALL
- EXTERIOR 2X6 INSULATED WALL
- INTERIOR 2X4 LOAD BEARING WALL
- INTERIOR 2X4 NON-LOAD BEARING WALL
- SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP
- WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON T SHEETS
- BATHRM FAN RECESSED INTO CEILING VENT TO EXTERIOR, PROVIDE R8 INSULATION

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE SPRINKLED TO NFPA 13-R BECAUSE THE BUILDING IS MORE THAN 4,500 SQFT.



CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
 612-669-2052  
 PO BOX 8589  
 Minneapolis, MN 55408  
 www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
 A New 6 Unit Apartment Building  
 2413 1st Ave S  
 Minneapolis, MN 55404

**SHEET TITLE:**  
 FIRST FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota  
 signed: *William M. Wells*  
 William M. Wells, Architect  
 date: 5.22.2020 reg. no. 49615

SHEET NO:

**A1**



**GENERAL NOTES:**

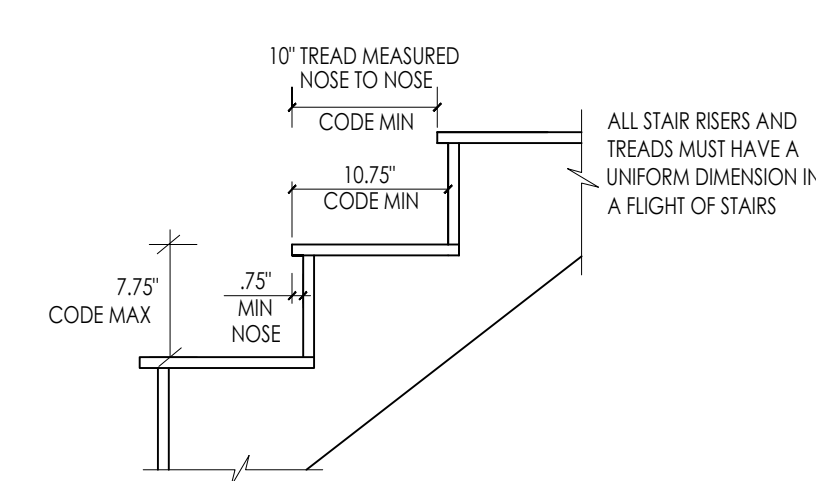
- Any wood touching concrete must be treated wood.
- See structural sheets for footing and foundation specifications.
- All mechanical, electrical, and plumbing is design-build.
- All subs must verify plumbing and mechanical layouts with owner prior to install.
- The following subcontractors and consultants must provide shop drawings to architect for review:
  - HVAC / Mechanical subcontractor
  - Floor & Roof truss manufacturer
  - Window and door shop drawings
  - Fire sprinkler drawings
- Always slope concrete and soils around the building away from the foundation. 2% min slope.
- See "T sheets" for wall types and wall construction details.
- See sheet E1, E2, for electrical and lighting plan.
- The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
- All dryers must vent to the exterior. Insulate ducts to R-8 continuous 3'-0" from exterior wall. Always provide a floor drain near the washer / dryer in all units.
- In the case of ambiguities, discrepancies, or irregularities, in the drawings, the contractor must request clarification from the architect before proceeding. Liability for proceeding without obtaining clarification from the architect will be borne solely by the contractor.
- Do not scale the drawings to build walls or install windows, fixtures, or purchase equipment.
- The general contractor and all subcontractors must visit the site prior to providing bids. The general contractor is responsible for field verifying all dimensions and existing conditions prior to construction.
- All toilets must have a min 18" clear space on each side from the centerline of the toilet to the face of the finished wall.
- All bedrooms must contain a smoke detector, and carbon monoxide detector within 10' of the bedroom door. All bedrooms must have a closet, egress window, and electrical outlets and fixtures per code. Smoke detectors shall be provided in accordance with UL 217 & installed in accordance with MNIBC & NFPA 72

- All windows that are operable shall be equipped with a screen and fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
- Carbon monoxide alarms required in accordance with MN Stat 299F.50. Can not be more than 10'-0" from a bedroom door.
- Interior and exterior signage required to identify unit numbers.
- HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
- Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
- ALL BEDROOMS MUST HAVE AUDIBLE FIRE ALARMS.**
- Radon mitigation required in the building. See "T sheets" for specs. Provide electrical outlet in the attic for future radon fan as required by code. See "T sheets" for specs.
- All outlets in kitchen and bathrooms must be GFI outlets.
- Max allowable floor truss deflection allowed for truss design is 0.75" under max load.
- The general contractor shall call Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
- Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5 feet from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
- Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.

**2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS**

- In Group R2 occupancies, the maximum riser height shall be 7.75" and the minimum tread depth shall be 10". A nosing not less than .75" but not more than 1.25" shall be provided on stairways with solid risers where the tread depth is less than 11"
- The min width of a stairway in a dwelling unit is 36"
- Stairways shall have a min head room clearance of 80"
- Handrails shall be 34" to 36" above the stair tread

**STAIR SECTION ALLOWED INSIDE A DWELLING UNIT:**



**GENERAL STRUCTURAL NOTES:**

- ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
- CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
- MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.75" OF TOTAL DEFLECTION. UNDER MAX LOAD CONDITIONS.

**SYMBOL KEY AND WALL TYPES**

- CONC FOUNDATION WALL
- EXTERIOR 2X6 INSULATED WALL
- INTERIOR 2X4 LOAD BEARING WALL
- INTERIOR 2X4 NON-LOAD BEARING WALL
- SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP
- WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON T-SHEETS
- BATHRM FAN RECESSED INTO CEILING VENT TO EXTERIOR, PROVIDE R8 INSULATION

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE SPRINKLED TO NFPA 13-R BECAUSE THE BUILDING IS MORE THAN 4,500 SQFT.



CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
 612-669-2052  
 PO BOX 8589  
 Minneapolis, MN 55408  
 www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
 A New 6 Unit Apartment Building  
 2413 1st Ave S  
 Minneapolis, MN 55404

**SHEET TITLE:**  
 SECOND FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota  
 signed: *W. Wells*  
 William M. Wells, Architect  
 date: 5.22.2020 reg. no. 49615

**SHEET NO:**  
**A2**



**GENERAL NOTES:**

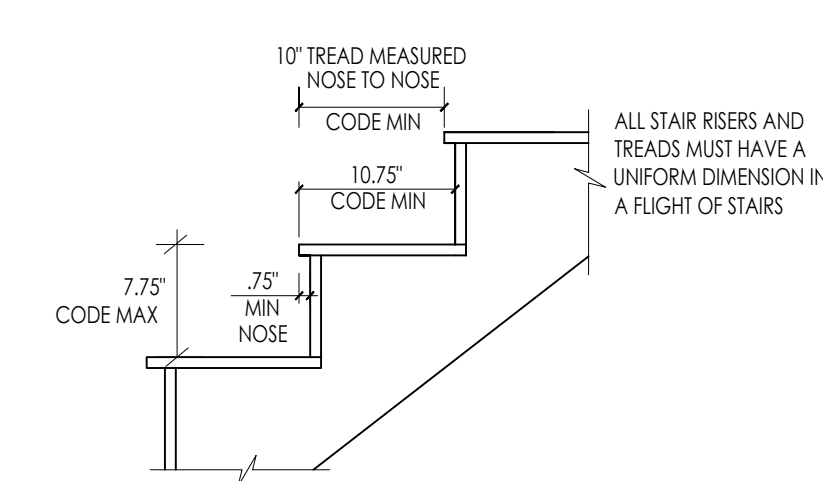
- Any wood touching concrete must be treated wood.
- See structural sheets for footing and foundation specifications.
- All mechanical, electrical, and plumbing is design-build.
- All subs must verify plumbing and mechanical layouts with owner prior to install.
- The following subcontractors and consultants must provide shop drawings to architect for review:
  - HVAC / Mechanical subcontractor
  - Floor & Roof truss manufacturer
  - Window and door shop drawings
  - Fire sprinkler drawings
- Always slope concrete and soils around the building away from the foundation. 2% min slope.
- See "T sheets" for wall types and wall construction details.
- See sheet E1, E2, for electrical and lighting plan.
- The floor and roof truss system shall be pre-manufactured wood trusses. See structural sheets for size and specs. The contractor must coordinate all shop drawings and provide plans to architect for review, before ordering the trusses.
- All dryers must vent to the exterior. Insulate ducts to R-8 continuous 3'-0" from exterior wall. Always provide a floor drain near the washer / dryer in all units.
- In the case of ambiguities, discrepancies, or irregularities, in the drawings, the contractor must request clarification from the architect before proceeding. Liability for proceeding without obtaining clarification from the architect will be borne solely by the contractor.
- Do not scale the drawings to build walls or install windows, fixtures, or purchase equipment.
- The general contractor and all subcontractors must visit the site prior to providing bids. The general contractor is responsible for field verifying all dimensions and existing conditions prior to construction.
- All toilets must have a min 18" clear space on each side from the centerline of the toilet to the face of the finished wall.
- All bedrooms must contain a smoke detector, and carbon monoxide detector within 10' of the bedroom door. All bedrooms must have a closet, egress window, and electrical outlets and fixtures per code. Smoke detectors shall be provided in accordance with UL 217 & installed in accordance with MNIBC & NFPA 72

- All windows that are operable shall be equipped with a screen and fall prevention device that limits the window opening to less than 4" in accordance with MSBC 1303.2320
- Carbon monoxide alarms required in accordance with MN Stat 299F.50. Can not be more than 10'-0" from a bedroom door.
- Interior and exterior signage required to identify unit numbers.
- HVAC piping conveying fluids above 105 to below 55 degrees F must be insulated to R-3 or higher.
- Smoke detectors shall be installed: on each level on the unit, and in all bedrooms, and in the hallway outside the bedrooms. Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch. Smoke alarms are not required to be equipped with a battery backup in Group R2 occupancy equipped throughout with an automatic sprinkler system.
- ALL BEDROOMS MUST HAVE AUDIBLE FIRE ALARMS.
- Radon mitigation required in the building. See "T sheets" for specs. Provide electrical outlet in the attic for future radon fan as required by code. See "T sheets" for specs.
- All outlets in kitchen and bathrooms must be GFI outlets.
- Max allowable floor truss deflection allowed for truss design is 0.75" under max load.
- The general contractor shall call Gopher State One Call before excavating to locate underground utilities. Call 651-454-0002
- Every excavation on a site located 5 feet or less from the street property line shall be enclosed with a barrier not less than 6'-0" high, when located more than 5 feet from the street lot line, a barrier shall be erected when required by the building official. Barriers shall be of adequate strength to resist wind pressure.
- Contractor shall coordinate inspections with third party special inspectors, as required. The special inspections schedules are shown on the structural sheets. The special inspections are coordinated by the Contractor and paid for directly by the Owner.

**2012 IBC BUILDING CODE REQUIREMENTS FOR STAIRWAYS**

- In Group R2 occupancies, the maximum riser height shall be 7.75" and the minimum tread depth shall be 10". A nosing not less than .75" but not more than 1.25" shall be provided on stairways with solid risers where the tread depth is less than 11"
- The min width of a stairway in a dwelling unit is 36"
- Stairways shall have a min head room clearance of 80"
- Handrails shall be 34" to 36" above the stair tread

**STAIR SECTION ALLOWED INSIDE A DWELLING UNIT:**



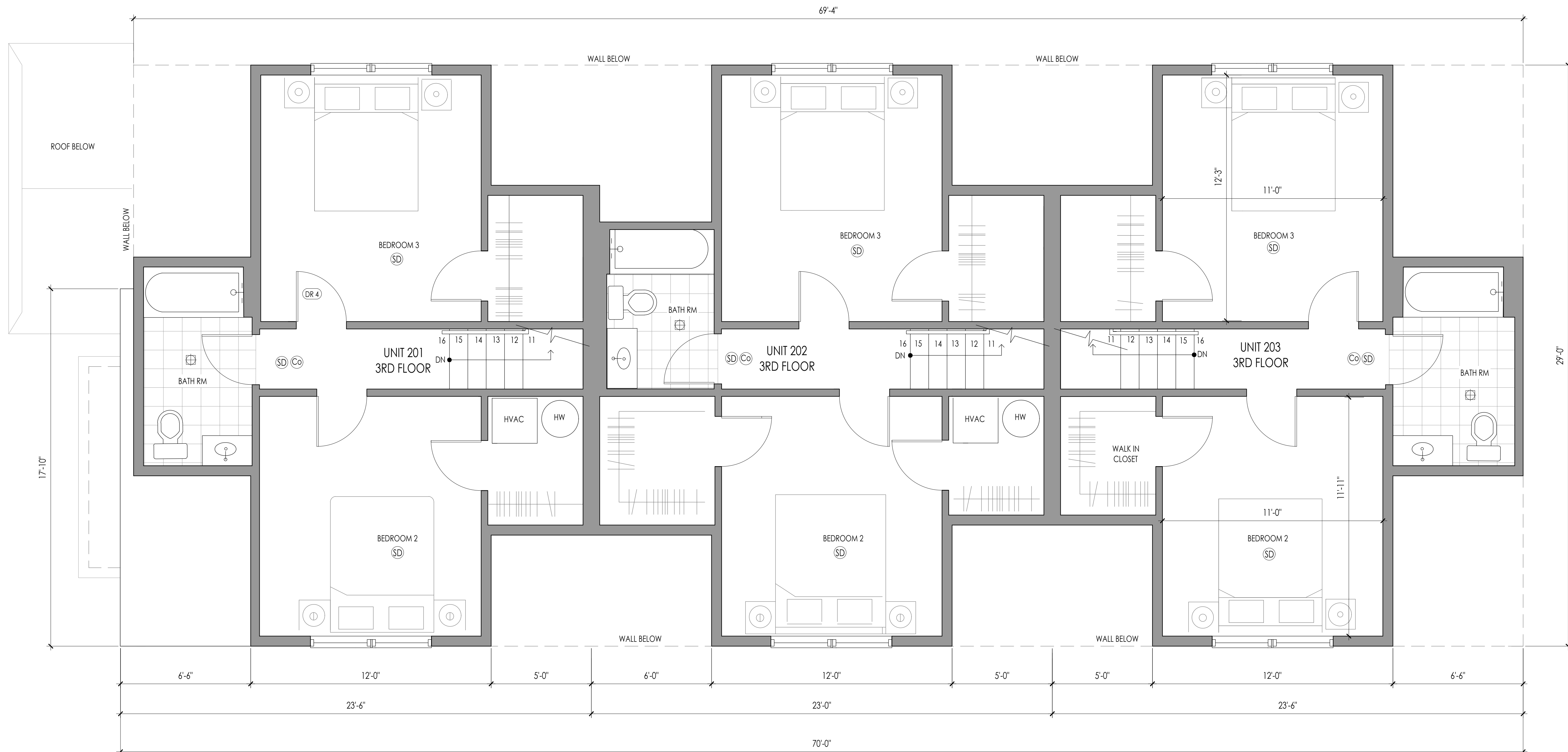
**GENERAL STRUCTURAL NOTES:**

- ALL POINT LOADS MUST BE BLOCKED SOLID DOWN TO FNDN, THROUGH FLOOR TRUSS CAVITY SPACE.
- CONTRACTOR MUST PROVIDE ROOF AND FLOOR TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW, BEFORE ORDERING THE TRUSSES.
- MAX FLOOR TRUSS DEFLECTION IS: SPAN / 480 LIVE LOAD. NOT TO EXCEED 0.75" OF TOTAL DEFLECTION. UNDER MAX LOAD CONDITIONS.

**SYMBOL KEY AND WALL TYPES**

- CONC FOUNDATION WALL
- EXTERIOR 2X6 INSULATED WALL
- INTERIOR 2X4 LOAD BEARING WALL
- INTERIOR 2X4 NON-LOAD BEARING WALL
- SMOKE / CO DETECTOR HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP TREADS MUST HAVE A UNIFORM DIMENSION IN A FLIGHT OF STAIRS
- WINDOW AND DOOR REFERENCE TAG SEE SCHEDULE AND SPECS ON T SHEETS
- BATHRM FAN RECESSED INTO CEILING VENT TO EXTERIOR, PROVIDE R8 INSULATION

UNDER THE MN STATE BUILDING CODE 2015 SECTION 903.2.8 THIS BUILDING MUST BE SPRINKLED TO NFPA 13-R BECAUSE THE BUILDING IS MORE THAN 4,500 SQFT.



CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
 612-669-2052  
 PO BOX 8589  
 Minneapolis, MN 55408  
 www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
 A New 6 Unit Apartment Building  
 2413 1st Ave S  
 Minneapolis, MN 55404

**SHEET TITLE:**  
 THIRD FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota  
 signed: *W. Wells*  
 William M. Wells, Architect  
 date: 5.22.2020 reg. no. 49615.

**SHEET NO:**  
**A3**

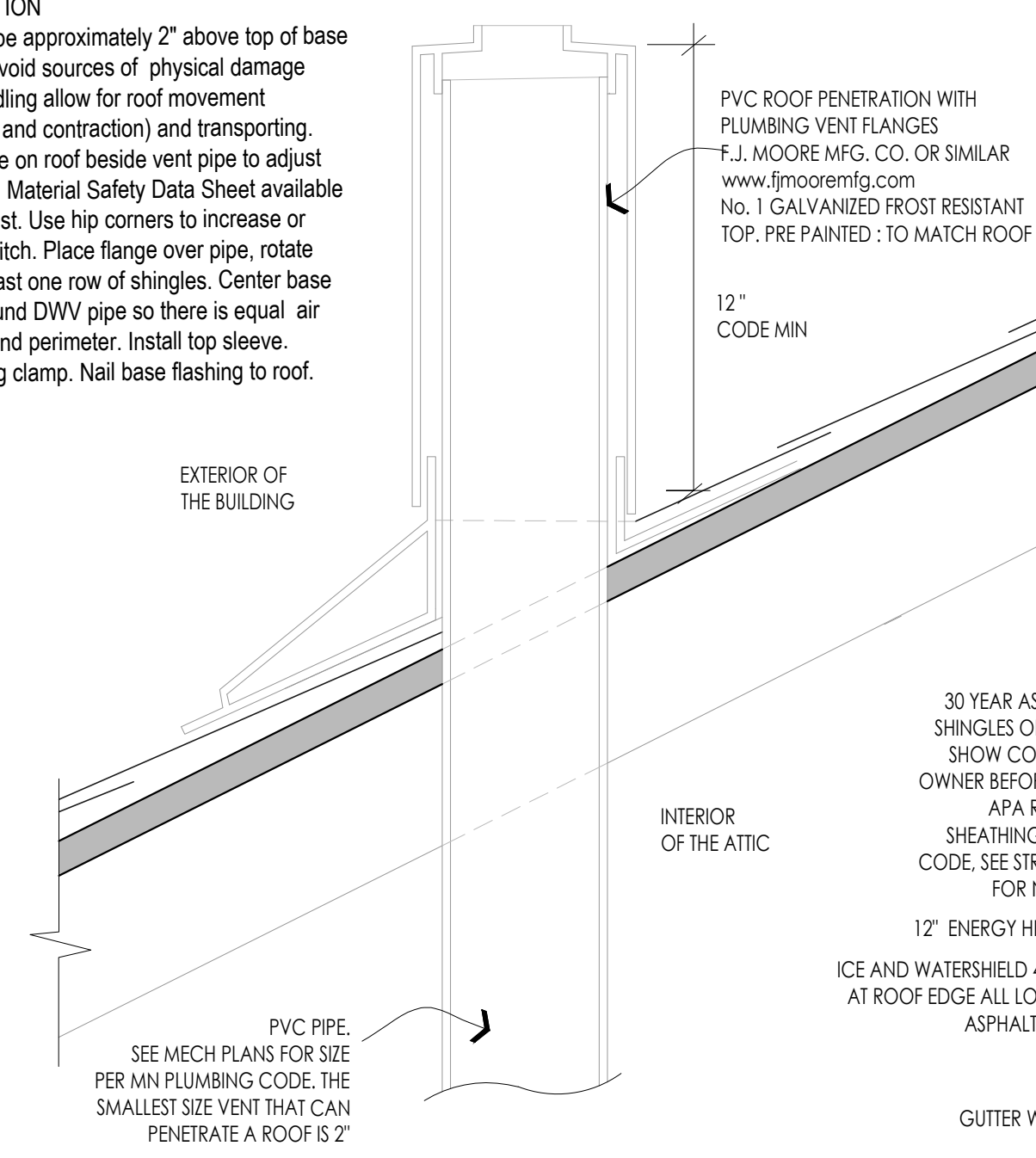


- GENERAL NOTES:**
- CONTRACTOR SHALL FOLLOW THE MINNESOTA STATE PLUMBING CODE REGARDING ALL ROOF PENETRATIONS.
  - CONTRACTOR MUST SUBMIT ROOF TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW. THE SLOPE OF THE ROOF MAY CHANGE, AS ARCHITECT REVIEWS THE ROOF TRUSS SHOP DRAWINGS. ALWAYS CHECK AND CONFIRM PITCH OF ROOF WITH THE ROOF TRUSS SHOP DRAWINGS.
  - CONTRACTOR MUST ALWAYS SHOW SAMPLES TO OWNER BEFORE.
  - CHANGES TO THE PITCH OR ROOF FORM MUST BE PRE-APPROVED BY THE ARCHITECT.
  - THE CONTRACTOR MUST SHOW ASPHALT ROOF SHINGLE SAMPLES TO OWNER BEFORE INSTALL. PROVIDE ARCHITECTURAL SHINGLES. MIN 30 YEAR WARRANTY.
  - FIRESTONE RUBBER GUARD 60 MIL EPDM  
REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION. SCUPPER MUST BE WELDED METAL SLEEVE, ROUND ALL SHEET METAL FLANGE CORNERS. APPLY LAP SEALANT AROUND ENTIRE PERIMETER OF QUICKSEAM FLASHING. REFER TO LS-9 FOR SEAM EDGE TREATMENT. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAL FOOT MINIMUM IN ANY GIVEN DIRECTION. FLANGE OF METAL MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 12" FROM EDGE OF WOOD. WOOD NAILER MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAL FOOT IN ANY GIVEN DIRECTION. FASTEN COPING CLEAT AS PER SUPPLIED INSTRUCTIONS.

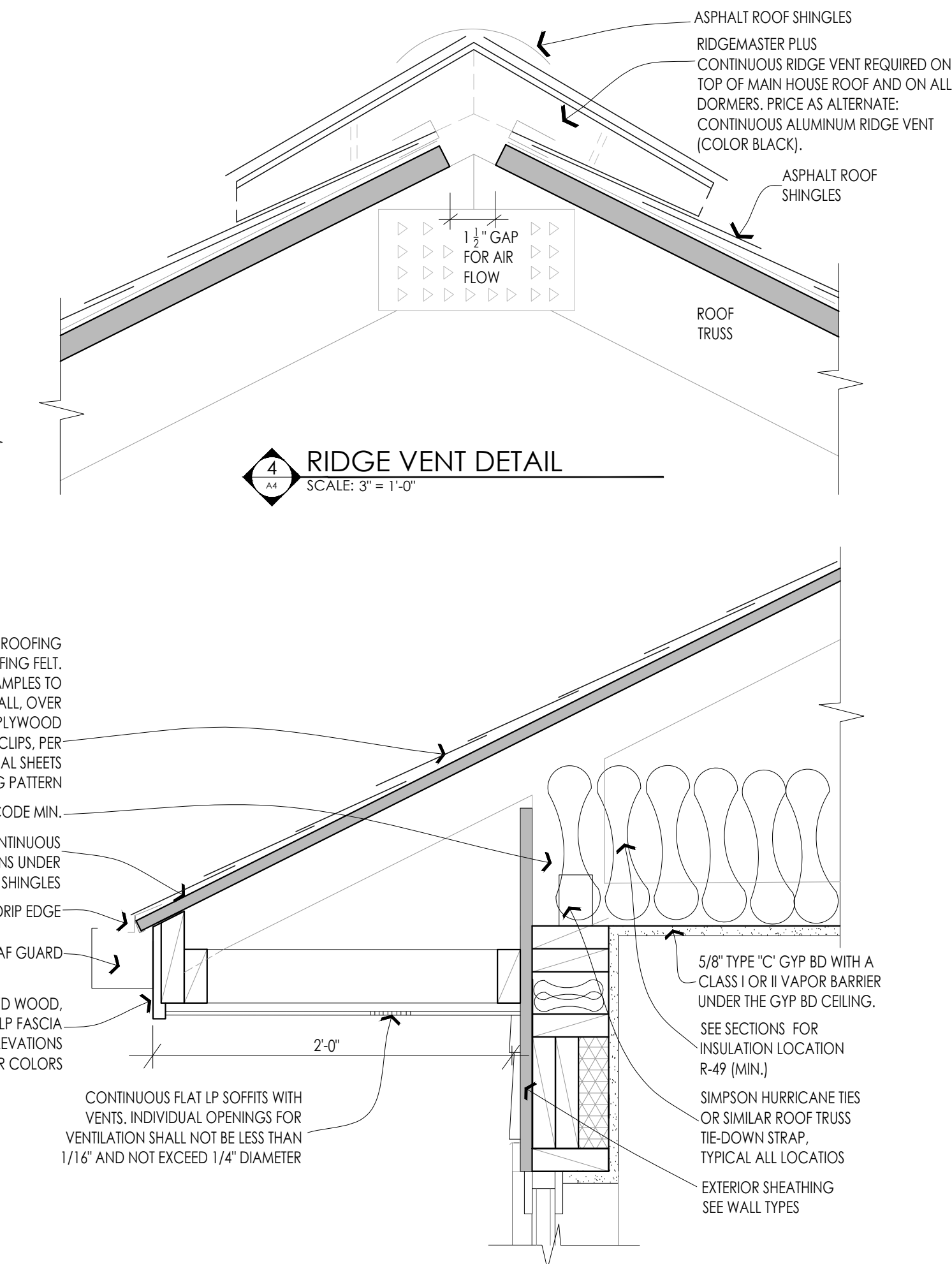
**DESCRIPTION**  
Frost resistant design prevents vent closure. Patented two piece telescopic cover-all design provides complete enclosure of DWV pipe and roof penetration point. Permanent three point seal unaffected by daily roof movement and structure settling. No.1 style ring clamp top mechanically seals DWV pipe orifices. D. and O.D. Pre-stamped, base flashing raised bosses permanently seal at nailing points. Folded hip corner adjustment tabs. Installs without removal or alteration of existing shingle pattern fits all architectural and 3 tab shingles. Suitable for new construction, tear-off and retrofit. Retrofits over many existing flashing. Impervious to all extreme weather and storm conditions. 10 Year warranty when properly installed.

**PHYSICAL PROPERTIES**  
28 Gauge steel, prime material, Lock Form Quality (LFQ). G-90 Galvanized coating. Lead cap stamped 2-1/2 lb. chemical sheet, 99.6% pure.

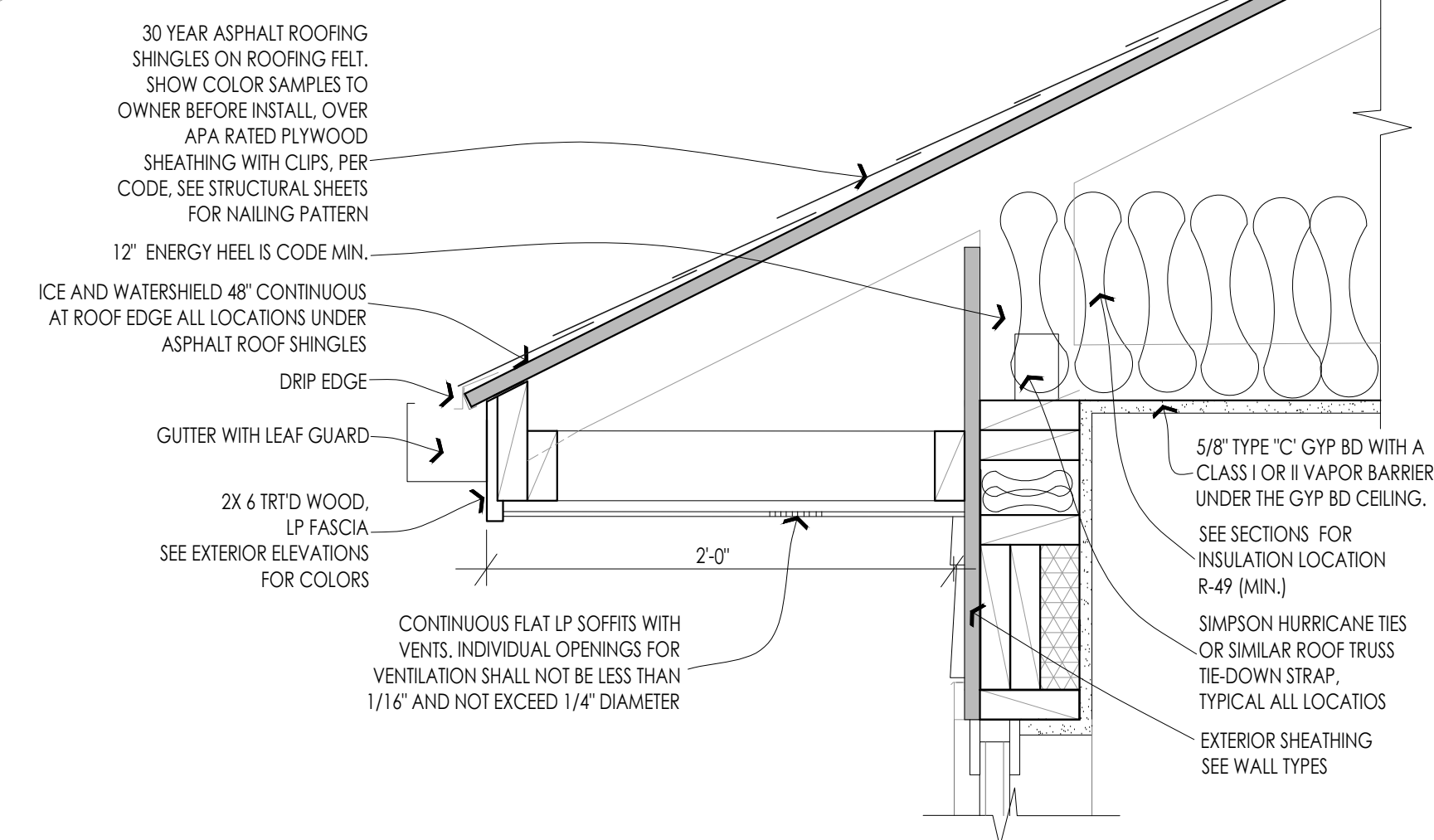
**INSTALLATION**  
Cut vent pipe approximately 2" above top of base sleeve to avoid sources of physical damage during handling allow for roof movement (expansion and contraction) and transporting. Place flange on roof beside vent pipe to adjust exact pitch. Material Safety Data Sheet available upon request. Use hip corners to increase or decrease pitch. Place flange over pipe, rotate under at least one row of shingles. Center base sleeve around DWV pipe so there is equal air space around perimeter. Install top sleeve. Tighten ring clamp. Nail base flashing to roof.



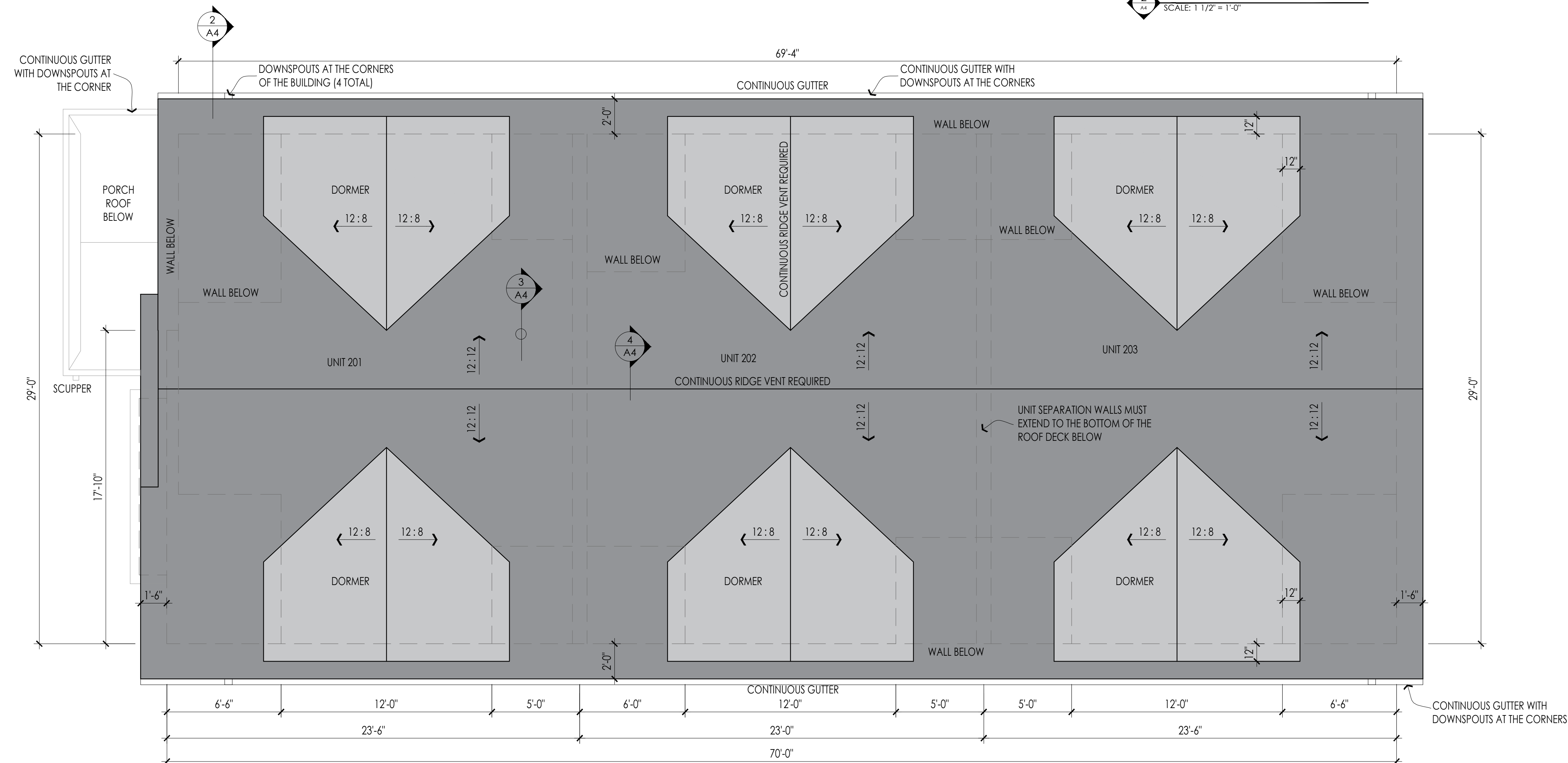
**3**  
SCALE: 3" = 1'-0"



**4**  
SCALE: 3" = 1'-0"



**2**  
SCALE: 1 1/2" = 1'-0"



**1**  
SCALE: 1/4" = 1'-0"

CITY APPROVAL STAMP

**WELLS & COMPANY ARCHITECTS**  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

**PROJECT TITLE:**  
A New 6 Unit Apartment Building  
2413 1st Ave S  
Minneapolis, MN 55404

**SHEET TITLE:**  
ROOF PLAN AND ROOF DETAILS

**PROJECT #:** 02-2020  
**DRAWN BY:** WELLS  
**CHECKED BY:** WELLS  
**ISSUE:** DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota  
signed: *William M. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615

**SHEET NO:**  
**A4**



EXTERIOR MATERIALS, SPECIFICATIONS, AND GENERAL NOTES:

- | REF TAG | SPECS                                                                                                                                                                                                                                                                         |
|---------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ①       | CONTINUOUS RIDGE VENT REQUIRED ON PRIMARY ROOF AND ON ALL DORMERS. PROVIDE: RIDGEMASTER PLUS RIDGE VENT. COLOR: BLACK, OR SIMILAR SUPPLIER                                                                                                                                    |
| ②       | GAF TIMBERLINE NS ASPHALT ROOFING SHINGLE. COLOR: CHARCOAL. MUST BE INSTALLED OVER ROOF FELT PER CODE. SEE STRUCTURAL SHEETS FOR ROOF SHEATHING SPECIFICATIONS AND NAILING PATTERS.                                                                                           |
| ③       | CONTINUOUS ALUMINUM GUTTER AND DOWNSPOUTS. PROVIDE CONCRETE SPLASH BLOCKS AT GRADE. THE DOWNSPOUTS MUST BE PAINTED TO MATCH THE SIDING COLOR, AND THE GUTTERS MUST BE PAINTED TO MATCH THE SIDING COLOR.                                                                      |
| ④       | PRE-FABRICATED ALUMINUM BALCONY. SUPPLIER: ENDURABLE BUILDING PRODUCTS. ALL RODS, KNIFE PLATE, BALCONY, FLASHING, AND HANRAILS TO BE CUSTOM PAINTED OFF-SITE AND PRE-FINISHED TO MATCH THE COLOR OF THE TRIM AROUND THE WINDOWS. CONTACT ARCHITECT FOR COLOR                  |
| ⑤       | COVER FASCIA WITH LP STRAND COMPOSITE TREATED WOOD CEDAR TRIM. 440 SERIES CEDAR WOOD GRAIN TRIM. 7.21" WIDE X 0.625" THICK. SOFFITS SHALL BE LP SOFFIT STRAND PANEL SERIES. FULLY VENTED. 0.53" THICK. SEE SOFFIT AND FASCIA DETAIL ON SHEET A4                               |
| ⑥       | LP CEDAR TRIM. COMPOSITE TREATED WOOD CEDAR TEXTURE TRIM. 540 SERIES CEDAR: 9.21" WIDE X 0.91" THICK. MUST BE INSTALLED OVER CONTINUOUS TYVEK WEATHER RESISTANCE BARRIER. CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED                                        |
| ⑦       | LP CEDAR TRIM. COMPOSITE TREATED WOOD CEDAR TEXTURE TRIM 540 SERIES CEDAR: 7.21" WIDE X 0.91" THICK. MUST BE INSTALLED OVER CONTINUOUS TYVEK WEATHER RESISTANCE BARRIER CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED                                          |
| ⑧       | LP CEDAR TRIM. COMPOSITE TREATED WOOD CEDAR TEXTURE TRIM 540 SERIES CEDAR: 3.5" WIDE X 0.91" THICK. MUST BE INSTALLED OVER CONTINUOUS TYVEK WEATHER RESISTANCE BARRIER CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED                                           |
| ⑨       | LP CEDAR TEXTURE LAP SIDING. MUST BE STRAND COMPOSITE TREATED WOOD SIDING, WITH SELF ALIGNING SMART LOCK OPTION. 76 SERIES. DIMENSION: 7.84" X .375" THICK INSTALLED IN 16'-0" LENGTHS STAGGERED JOINTS CAULKED. CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED |
| ⑩       | STONE VENEER. CULTURED LIMESTONE. COLOR: SUEDE<br><a href="https://www.culturestone.com/products/limestone#suede">https://www.culturestone.com/products/limestone#suede</a>                                                                                                   |

EXTERIOR MATERIAL PERCENTAGES  
EXTERIOR MATERIAL PERCENTAGES



2 SIDE FACADE - SOUTH FACING  
SCALE: 1/4" = 1'-0"



1 FRONT FACADE - WEST FACING  
SCALE: 1/4" = 1'-0"

CITY APPROVAL STAMP

WELLS & COMPANY  
ARCHITECTS  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
[www.WellsandCompanyArchitects.com](http://www.WellsandCompanyArchitects.com)

PROJECT TITLE:  
A New 6 Unit  
Apartment Building  
2413 1st Ave S  
Minneapolis, MN  
55404

SHEET TITLE:  
EXTERIOR BUILDING  
ELEVATIONS  
FRONT AND SIDE

PROJECT #: 02-2020  
DRAWN BY: WELLS  
CHECKED BY: WELLS  
ISSUE: DATE:

I hereby certify that this plan  
specification or report was prepared  
by me or under my direct supervision  
and that I am a duly registered  
architect under the law of  
the state of: Minnesota  
signed: *W. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615.

SHEET NO:

A5



EXTERIOR MATERIALS, SPECIFICATIONS, AND GENERAL NOTES:

- | REF TAG | SPECS                                                                                                                                                                                                                                                                         |
|---------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ①       | CONTINUOUS RIDGE VENT REQUIRED ON PRIMARY ROOF AND ON ALL DORMERS. PROVIDE: RIDGEMASTER PLUS RIDGE VENT. COLOR: BLACK, OR SIMILAR SUPPLIER                                                                                                                                    |
| ②       | GAF TIMBERLINE NS ASPHALT ROOFING SHINGLE. COLOR: CHARCOAL. MUST BE INSTALLED OVER ROOF FELT PER CODE. SEE STRUCTURAL SHEETS FOR ROOF SHEATHING SPECIFICATIONS AND NAILING PATTERS.                                                                                           |
| ③       | CONTINUOUS ALUMINUM GUTTER AND DOWNSPOUTS. PROVIDE CONCRETE SPLASH BLOCKS AT GRADE. THE DOWNSPOUTS MUST BE PAINTED TO MATCH THE SIDING COLOR, AND THE GUTTERS MUST BE PAINTED TO MATCH THE FASCIA TRIM BOARDS.                                                                |
| ④       | PRE-FABRICATED ALUMINUM BALCONY. SUPPLIER: ENDURABLE BUILDING PRODUCTS. ALL RODS, KNIFE PLATE, BALCONY, FLASHING, AND HANRAILS TO BE CUSTOM PAINTED OFF-SITE AND PRE-FINISHED TO MATCH THE COLOR OF THE TRIM AROUND THE WINDOWS. CONTACT ARCHITECT FOR COLOR                  |
| ⑤       | COVER FASCIA WITH LP STRAND COMPOSITE TREATED WOOD CEDAR TRIM. 440 SERIES CEDAR WOOD GRAIN TRIM. 7.21" WIDE X 0.625" THICK. SOFFITS SHALL BE LP SOFFIT STRAND PANEL SERIES. FULLY VENTED. 0.53" THICK. SEE SOFFIT AND FASCIA DETAIL ON SHEET A4                               |
| ⑥       | LP CEDAR TRIM. COMPOSITE TREATED WOOD CEDAR TEXTURE TRIM. 540 SERIES CEDAR: 9.21" WIDE X 0.91" THICK. MUST BE INSTALLED OVER CONTINUOUS TYVEK WEATHER RESISTANCE BARRIER. CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED                                        |
| ⑦       | LP CEDAR TRIM. COMPOSITE TREATED WOOD CEDAR TEXTURE TRIM 540 SERIES CEDAR: 7.21" WIDE X 0.91" THICK. MUST BE INSTALLED OVER CONTINUOUS TYVEK WEATHER RESISTANCE BARRIER CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED                                          |
| ⑧       | LP CEDAR TRIM. COMPOSITE TREATED WOOD CEDAR TEXTURE TRIM 540 SERIES CEDAR: 3.5" WIDE X 0.91" THICK. MUST BE INSTALLED OVER CONTINUOUS TYVEK WEATHER RESISTANCE BARRIER CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED                                           |
| ⑨       | LP CEDAR TEXTURE LAP SIDING. MUST BE STRAND COMPOSITE TREATED WOOD SIDING, WITH SELF ALIGNING SMART LOCK OPTION. 76 SERIES. DIMENSION: 7.84" X .375" THICK INSTALLED IN 16'-0" LENGTHS STAGGERED JOINTS CAULKED. CONTACT ARCHITECT FOR COLOR. FOR PRICING ASSUME SITE PAINTED |
| ⑩       | STONE VENEER. CULTURED LIMESTONE. COLOR: SUEDE<br><a href="https://www.culturestone.com/products/limestone#suede">https://www.culturestone.com/products/limestone#suede</a>                                                                                                   |



**SIDE FACADE - NORTH FACING**  
SCALE: 1/4" = 1'-0"



**REAR FACADE - EAST FACING**  
SCALE: 1/4" = 1'-0"

CITY APPROVAL STAMP

**WELLS & COMPANY  
ARCHITECTS**  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
[www.WellsandCompanyArchitects.com](http://www.WellsandCompanyArchitects.com)

©2020 Wells & Company Architects

PROJECT TITLE:  
**A New 6 Unit  
Apartment Building**  
2413 1st Ave S  
Minneapolis, MN  
55404

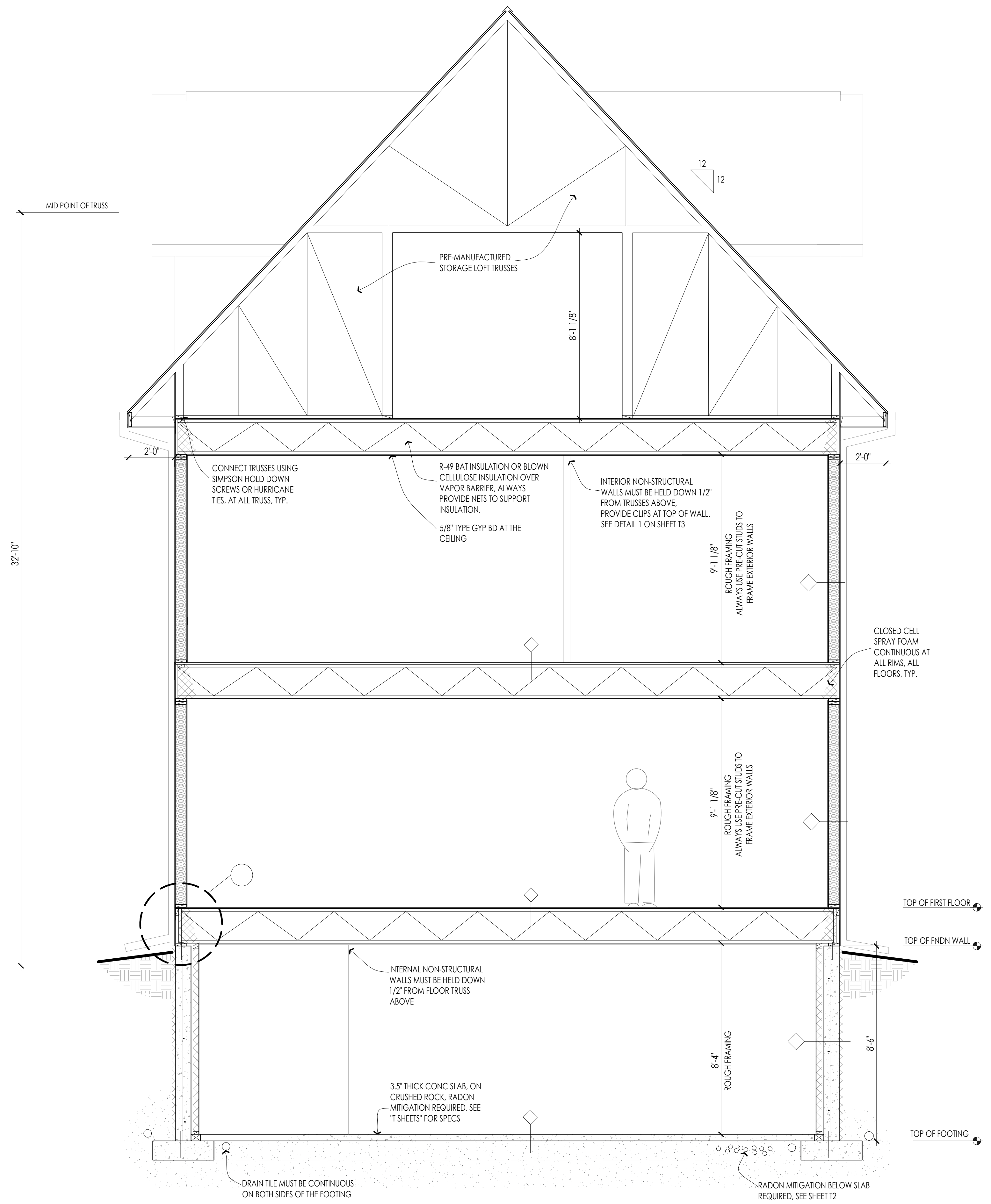
SHEET TITLE:  
EXTERIOR BUILDING  
ELEVATIONS  
REAR AND SIDE

PROJECT #: 02-2020  
DRAWN BY: WELLS  
CHECKED BY: WELLS  
ISSUE: DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota  
signed: *W. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615

SHEET NO:  
**A6**





**BUILDING SECTION**  
SCALE: 3/8" = 1'-0"

CITY APPROVAL STAMP

**WELLS & COMPANY  
ARCHITECTS**  
612-669-2052  
PO BOX 8589  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

PROJECT TITLE:  
**A New 6 Unit  
Apartment Building**  
2413 1st Ave S  
Minneapolis, MN  
55404

SHEET TITLE:  
BUILDING SECTION

PROJECT #: 02-2020  
DRAWN BY: WELLS  
CHECKED BY: WELLS  
ISSUE: DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota  
signed: *W. Wells*  
William M. Wells, Architect  
date: 5.22.2020 reg. no. 49615

SHEET NO:

**A7**