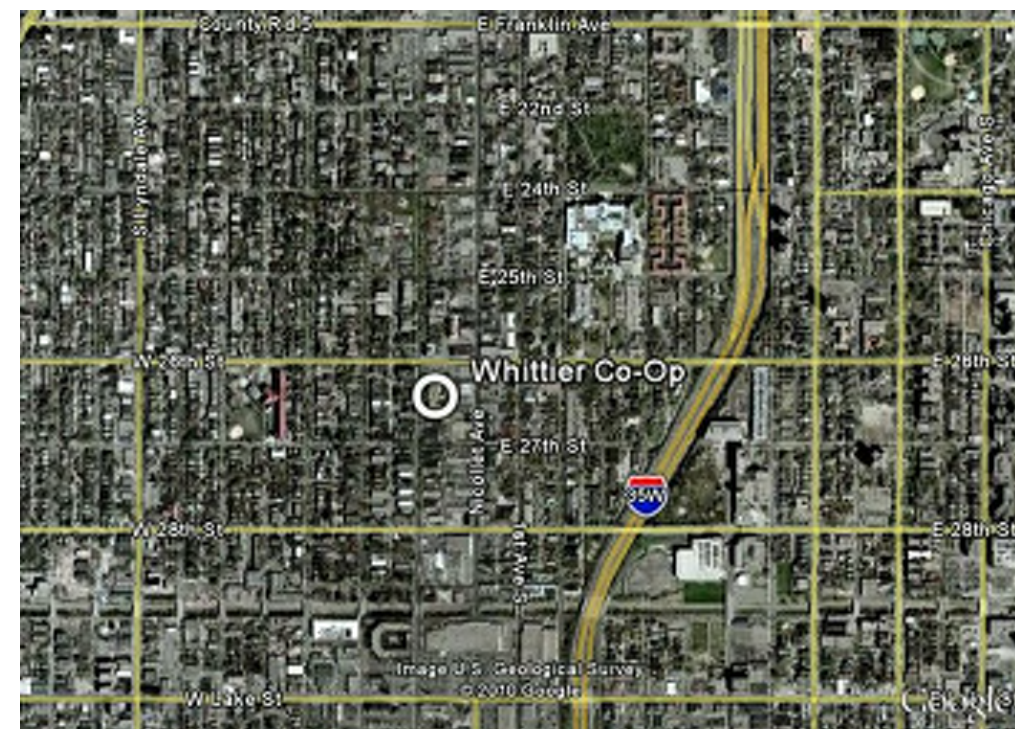




RENDERING IMAGE

LOCATION MAP



WHITTIER COMMUNITY HOUSING

26TH ST. W. AND BLAISDELL AVE. S. MINNEAPOLIS, MN

PROJECT TEAM

| | | | |
|---|---|--|--|
| CLIENT | CONTRACTOR | CIVIL ENGINEER | LANDSCAPE ARCHITECT |
| COMMONBOND COMMUNITIES 1080 MONTREAL AVE ST. PAUL, MN 55116 651.291.1750 | FRERICHS 3600 LABORE ROAD SUITE 8 VADNAIS HEIGHTS, MN 55110 PHONE: 651.787.0687 | LHB, INC. 701 WASHINGTON AVE N SUITE 200 MINNEAPOLIS, MN 55401 612.338.2029 | LHB, INC. 701 WASHINGTON AVE N SUITE 200 MINNEAPOLIS, MN 55401 612.338.2029 |
| ARCHITECT | STRUCTURAL ENGINEER | MECHANICAL ENGINEER | ELECTRICAL ENGINEER |
| LHB, INC. 701 WASHINGTON AVE N SUITE 200 MINNEAPOLIS, MN 55401 612.338.2029 | MATTSON MACDONALD YOUNG 901 NORTH 3RD ST SUITE 100 MINNEAPOLIS, MN 55401 612.827.7825 | CAIN THOMAS ASSOCIATES 4215 WHITE BEAR PARKWAY SUITE 100 ST. PAUL, MN 55110 651.426.9549 | CAIN THOMAS ASSOCIATES 4215 WHITE BEAR PARKWAY SUITE 100 ST. PAUL, MN 55110 651.426.9549 |

STATE MAP



SHEET INDEX

| | |
|------------------|---|
| G10 | PDR TITLE SHEET |
| SURVEY | Sheet 1 of 1 ALTANSPS LAND TITLE SURVEY |
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| C002 | INDEX PLAN |
| C101 | REMOVALS AND EROSION CONTROL PLAN |
| C102 | REMOVALS AND EROSION CONTROL PLAN |
| C201 | SITE PLAN |
| C202 | SITE PLAN |
| C301 | GRADING PLAN |
| C302 | GRADING PLAN |
| C311 | GRADING ENLARGEMENT |
| C401 | UTILITY PLAN |
| C411 | STORM SEWER PLAN & PROFILE |
| C501 | CITY DETAILS |
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| LEVEL | |
| A10 | LEVEL 0 PLAN |
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| A13 | LEVEL 3 PLAN - NEW ONLY |
| A20 | COLOR ELEVATIONS - NEW ADDITION |
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| A24 | PHOTOS - SITE EXISTING CONDITIONS |

CITY OF MINNEAPOLIS STAMP



PERFORMANCE
DRIVEN DESIGN.
LHBcorp.com

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CommonBond Communities

1080 MONTREAL AVENUE
ST PAUL, MN 55116

THIS SQUARE APPEARS 1/2"X1/2"
ON FULL SIZE SHEETS

| | | |
|----|-----------|---------------|
| 1 | 5/14/2021 | PDR SUBMITTAL |
| NO | DATE | ISSUED FOR |

| | | |
|----|------|----------|
| NO | DATE | REVISION |
|----|------|----------|



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PROJECT NAME:
WHITTIER COMMUNITY
HOUSING
2609 BLAISDELL AVE S
MINNEAPOLIS, MN 55408

DRAWING TITLE:
PDR TITLE SHEET

FILE: FILE PATH
DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO.: 180586
DRAWING NO.:

G10

ALTA/NSPS LAND TITLE SURVEY FOR: CommonBond Communities

LEGAL DESCRIPTION:

Lots 16-26, inclusive, Rearrangement of Block 13, J.T. Blaisdell's Revised Addition to Minneapolis, Hennepin County, Minnesota (Abstract)

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Adj).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by Stewart Title Guaranty Company, Commitment No. MSP154690-CO dated January 27, 2021.
- The surveyed property has direct access to 26th Street West, a public right of way and the public alley.
- This survey shows only those Improvements visible during the field survey, some structures and improvements covered by ice and snow, or underground may not be shown.

OPTIONAL TABLE A ITEMS:

- Monuments have been placed at all major corners of the surveyed property described hereon, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
- The address of the property described hereon is 2609 Blaisdell Avenue, Minneapolis, Minnesota 55408.
- The property described hereon lies within AREA OF MINIMAL FLOOD HAZARD AREAS per Un-Printed Federal Insurance Rate Map No. 27053C0359F, dated November 4, 2016.
- The total area of the property described hereon is 120,764 square feet or 2.7724 acres.
- The contours depicted hereon are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.
- SITE BENCHMARK #1: Top nut of hydrant located in the southeast quadrant of 27th Street West and Blaisdell Avenue South. Elevation = 874.16 feet. (NGVD 29)
- SITE BENCHMARK #2: Top nut of hydrant located in the southwest quadrant of 26th Street West and Blaisdell Avenue South. Elevation = 874.08 feet. (NGVD 29)
- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 6(a), as set forth in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys.
- Exterior building dimensions are depicted hereon.
- The exterior building footprint areas at ground level is depicted hereon.
- The measured building heights are depicted hereon.
- Substantial features observed in the process of conducting the fieldwork are depicted hereon.
- As of the date of this survey the property described hereon contains a total of 45 visibly striped parking spaces of which 44 are standard spaces, and 1 is a designated handicapped space.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 210370019 and 210370020. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- As specified by the client, Governmental Agency survey-related requirements.
- The names of adjoining owners according to current tax records are depicted hereon.
- As of the date of this survey there is no observable evidence of current earth moving work, building construction or building additions on the property described hereon.
- The surveyor is unaware of any completed or proposed changes in street right-of-way lines. As of the date of this survey there is no observable evidence of recent street or sidewalk construction or repairs that affect the property described hereon.
- No plottable offsite easements or servitudes were disclosed in documents provided to the surveyor.
- Professional Liability insurance policy obtained by the surveyor to be in effect throughout the contract term.

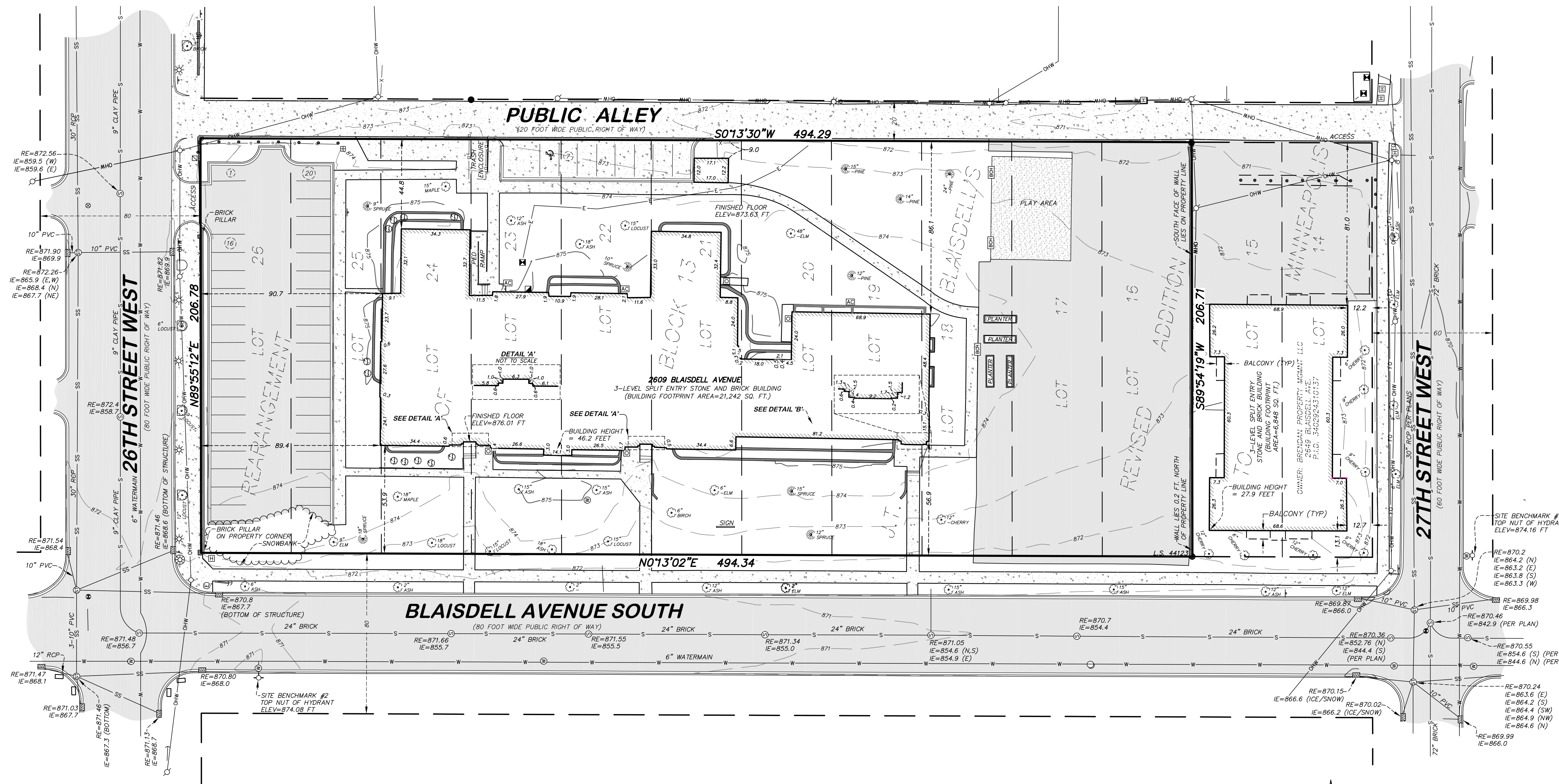
GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket Nos. 210370019 and 210370020

| | |
|-----------------------------|----------------------|
| CITY OF MINNEAPOLIS WATER | MCI |
| CITY OF MINNEAPOLIS TRAFFIC | METROPOLITAN COUNCIL |
| CITY OF MINNEAPOLIS SEWER | US INTERNET CORP |
| VERIZON WIRELESS | XCEL ENERGY |
| CENTURYLINK | ZAYO BANDWIDTH |
| EXTENET SYSTEMS INC | |

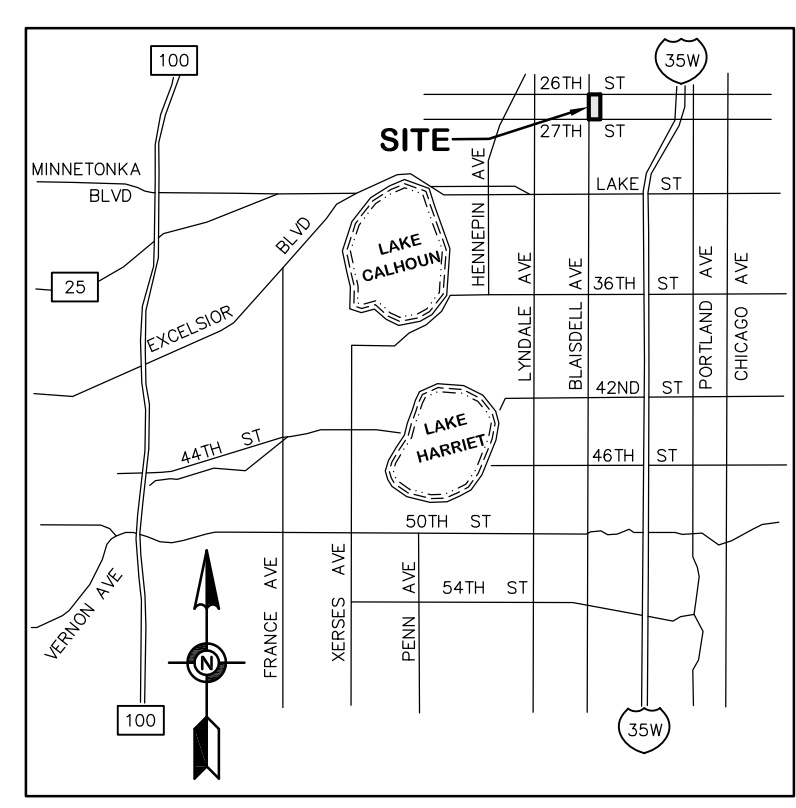
SURVEY ITEMS PER SCHEDULE B:

- ITEM 10: Any and all matters and interests which may affect the lands as more fully shown and recited on the Rearrangement of Block 13, J.T. Blaisdell's Revised Addition to Minneapolis. See instrument for full particulars.
- Said plot affects the surveyed property. No additional survey items to depict per plot.
- ITEM 11: Grant of Easement, dated October 7, 2010 and filed for record January 24, 2011 at 12:00 PM, recorded as Document No. 9617128, granted in favor of Comcast of Arkansas / Florida / Louisiana / Minnesota / Mississippi / Tennessee, Inc., its successors and assigns. See instrument for full particulars.
- Said Easement affects the surveyed property. Said Easement is blanket in nature and is not depicted hereon.
- ITEM 12: Regulatory Agreement (Section 8), dated September 15, 2010, and filed for record September 16, 2010 as Document No. 9559740, and executed by and between Whittier Community Housing, LLC, a Minnesota limited liability company, and Minnesota Housing Finance Agency, a public body corporate and politic of the State of Minnesota.
- Said Agreement affects the surveyed property. No plottable items to depict.
- ITEM 13: Declaration of Covenants, Conditions, and Restrictions (Section 8), dated September 15, 2010, and filed for record September 16, 2010 as Document No. 9559742, by Whittier Community Housing, LLC, a Minnesota limited liability company.
- Said Declaration affects the surveyed property. No plottable items to depict.
- ITEM 14: Regulatory Agreement (ELHF), dated September 15, 2010 and filed for record September 16, 2010 as Document No. 9559748, by and between Whittier Community Housing, LLC, a Minnesota limited liability company, and Minnesota Housing Finance Agency, a public body corporate and politic of the State of Minnesota.
- Said Agreement affects the surveyed property. No plottable items to depict.
- ITEM 15: Declaration of Covenants, Conditions, and Restrictions (ELHF), dated September 15, 2010 and filed for record September 16, 2010 as Document No. 9559750, by Whittier Community Housing, LLC, a Minnesota limited liability company.
- Said Declaration affects the surveyed property. No plottable items to depict.
- ITEM 16: Master Subordination Agreement, and Estoppel Certificate, dated September 15, 2010 and filed for record September 16, 2010 as Document No. 9559753, by and among Whittier Community Housing, LLC, a Minnesota limited liability company, the Minnesota Housing Finance Agency, a public body corporate and politic of the State of Minnesota, and the City of Minneapolis, a Minnesota municipal Corporation.
- Said Agreement and Certificate affects the surveyed property. No plottable items to depict.



LEGEND:

- | | |
|---|---|
| <ul style="list-style-type: none"> ○ SANITARY MANHOLE ○ MANHOLE ○ STORM MANHOLE ○ CATCH BASIN ○ ROOF DRAIN (OUTLET) ○ WATER MANHOLE ○ GATE VALVE ○ HYDRANT ○ AIR CONDITIONER ○ ELECTRIC MANHOLE ○ ELECTRIC BOX ○ ELECTRIC METER ○ HANDHOLE ○ LIGHT ○ UTILITY POLE ○ GUY WIRE ○ POWER POLE WITH LIGHT ○ SEMAPHORE ○ TRAFFIC CONTROL BOX ○ SIGN ○ BENCH ○ BOLLARD | <ul style="list-style-type: none"> ○ HANDICAPPED PARKING SPACE ○ HANDICAPPED PARKING SIGN ○ PARKING COUNT ○ CHAIN LINK FENCE ○ WIRE FENCE ○ SANITARY SEWER ○ STORM SEWER ○ WATERMAIN ○ UNDERGROUND ELECTRIC ○ OVERHEAD WIRE ○ UNDERGROUND TELECOMMUNICATION ○ EXISTING CONTOUR LINE ○ TREE ○ BITUMINOUS SURFACE ○ CONCRETE SURFACE ○ GRAVEL SURFACE ○ WALL |
|---|---|



- FOUND 1/2-INCH IRON PIPE, UNLESS OTHERWISE NOTED.
- SET IRON MONUMENT MARKED WITH LICENSE NUMBER 53536
- SET PK NAIL

CERTIFICATION:

To CB Whittier Community Housing, LLC, a Minnesota limited liability company, CB Whittier Community Housing Limited Partnership and Stewart Title Guaranty Company.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 12, 13, 14, 15, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on February 26th, 2021.

Date of Plot or Map: March 10, 2021

Christopher A. Terwedo
Christopher A. Terwedo
Minnesota License No. 53536
cterwedo@fnsurvey.com

| FIELD BOOK | PAGE | FIELDWORK CHIEF: | REVISIONS | |
|----------------|------|------------------|-----------|--|
| NO. | DATE | DESCRIPTION | | |
| | | | | |
| DRAWN BY: LS | | | | |
| CHECKED BY: GT | | | | |

ALTA/NSPS LAND TITLE SURVEY

SURVEY FOR:
CommonBond Communities

PROPERTY ADDRESS:
**2609 & 2649 Blaisdell Avenue South
Minneapolis, Minnesota 55408**

Egan, Field & Nowak, Inc.
land surveyors since 1872

1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM
COPYRIGHT © 2021 BY EGAN, FIELD & NOWAK, INC.

GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND REQUIREMENTS OF THE DETAILED SPECIFICATIONS.
- OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
- ANY WORK LOCATED ON PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR CONSTRUCTION OF THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, CURRENT EDITION.
- MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE CIVIL PLANS ARE FOR INFORMATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS OF THESE ITEMS.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING FEATURES DESIGNATED TO REMAIN. ANY FEATURES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL UNDERGROUND UTILITIES. UTILIZE THE ONE CALL EXCAVATION NOTICE SYSTEM OF "GOPHER ONE CALL" CALL 1-800-252-1166.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING. SEE SPECIFICATIONS FOR REQUIREMENTS.
- USE TEMPORARY CONSTRUCTION FENCING OR BARRIERS TO SECURE THE BUILDING SITE FOR PROTECTION OF PERSONS AND PROPERTY AS REQUIRED.
- CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS DESIGNATED TO REMAIN. ANY PAVEMENTS DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- GRADES SHOWN ARE FINISH SURFACE ELEVATIONS. THE CONTRACTOR SHALL MAKE APPROPRIATE DEDUCTIONS FOR VARYING SURFACES TO DETERMINE SUBGRADE ELEVATIONS.
- ALL EXISTING AND PROPOSED STRUCTURE ACCESS COVERS SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.
- ALL AREAS DISTURBED SHALL BE RESTORED WITH TOPSOIL AND SEED UNLESS NOTED OTHERWISE. REFERENCE THE PLANTING PLAN AND SPECIFICATIONS FOR REQUIREMENTS.
- ALL BITUMINOUS AND CONCRETE REMOVAL LIMITS SHALL BE SAW CUT TO A NEAT LINE PRIOR TO PLACEMENT OF ANY NEW MATERIAL AGAINST EXISTING EDGES.
- ALL STREET SIGNAGE WITHIN THE RIGHT-OF-WAY REMOVED FOR CONSTRUCTION SHALL BE REPLACED AT THE END OF THE PROJECT CONSTRUCTION.
- EXISTING SITE INFORMATION WAS TAKEN FROM A SURVEY PROVIDED BY EGAN, FIELD & NOWAK, INC., MINNEAPOLIS, MN, DATED MARCH 10, 2021. ACTUAL FIELD CONDITIONS MAY VARY. VERIFY ALL FIELD CONDITIONS INCLUDING LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES AFFECTING THE SCOPE OF THIS CONTRACT.
- ALL HORIZONTAL AND VERTICAL INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY AND BOUNDARY SURVEY PREPARED BY EGAN, FIELD & NOWAK, INC. SEE SURVEY FOR BENCHMARK INFORMATION.
- A GEOTECHNICAL REPORT WAS PREPARED BY INTERTEK-PSI, EAGAN, MN DATED MARCH 11, 2021.

CITY OF MINNEAPOLIS CONSTRUCTION NOTES

- THE CONTRACTOR, PROPERTY OWNER, OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS PUBLIC WORKS - SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELSEN AT 612.673.2406 OR paul.chelsen@minneapolismn.gov).
- UPON THE PROJECT'S COMPLETION, THE PROPERTY OWNER IS RESPONSIBLE FOR PROVIDING THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
- AN OBSTRUCTION PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY (CONTACT SCOTT KRAMER AT 612.673.2383 REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES). A PERMIT CAN BE OBTAINED AT www.minneapolis.mn.roway.net.
- CONTACT ALLAN KLUGMAN AT 612.673.2743 PRIOR TO CONSTRUCTION FOR THE TEMPORARY REMOVAL/RELOCATION OF ANY CITY OF MINNEAPOLIS LIGHTING OR TRAFFIC SIGNAL SYSTEM THAT MAY BE IN THE WAY OF CONSTRUCTION.
- PAVEMENT MARKINGS THAT EXIST PRIOR TO THE START OF PROJECT MUST BE REPLACED IN KIND UNLESS OTHERWISE DIRECTED BY THE CITY OF MINNEAPOLIS TRAFFIC DIVISION. ALL COSTS ASSOCIATED WITH PAVEMENT MARKING REPLACEMENT SHALL BE AT THE PROJECT EXPENSE.
- ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC FACILITIES INCLUDING TRAFFIC SIGNAL SYSTEMS, STREET LIGHTING, TRAFFIC SIGNS, PARKING METERS, AND PAVEMENT MARKINGS SHALL BE AT THE PROJECT EXPENSE.
- STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTOR SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT (CONTACT DAVE PREHALL AT 612.673.5759). ANY LIGHT INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE.
- CONTACT SHANE MORTON AT 612.673.5517 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT-OF-WAY SIGNS OR PAVEMENT MARKINGS THAT MAY BE IN THE WAY OF CONSTRUCTION.
- ANY EXISTING CONCRETE INFRASTRUCTURE IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO PUBLIC SIDEWALKS, CURB AND GUTTER, AND ADA PEDESTRIAN RAMPS, THAT IS EITHER CURRENTLY DEFECTIVE OR THAT IS DAMAGED DURING THE TIME OF SITE REDEVELOPMENT, MUST BE REMOVED AND REPLACED AT THE TIME OF REDEVELOPMENT.
- IF CONTAMINATED SOILS ARE ENCOUNTERED DURING SITE ACTIVITIES, STOP WORK IMMEDIATELY AND NOTIFY THE MN STATE DUTY OFFICER AT 651.649.5451.
- PERMITS AND APPROVALS ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED SOILS ON SITE; DEWATERING OR DISCHARGE OF ACCUMULATED STORMWATER OR GROUNDWATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT 612.673.5807 FOR PERMIT APPLICATIONS AND APPROVALS.
- NO CONSTRUCTION, DEMOLITION, OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 8:00PM AND 7:00AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS, AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT 612.673.3867 FOR PERMIT INFORMATION.

TRAFFIC CONTROL

- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, WARNING SIGNS, LIGHTS AND FLAGGERS AS PER THE CITY OF MINNEAPOLIS PUBLIC WORKS REQUIREMENTS. COST SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. BARRICADES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL WORK IN THE RIGHT OF WAY. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING WITHIN THE RIGHT OF WAY.

CITY OF MINNEAPOLIS EROSION CONTROL NOTES

- CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SOODING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDED AREA.
- READY MIXED CONCRETE AND CONCRETE BATCHMIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.

GOVERNING SPECIFICATIONS

THE STANDARD SUPPLEMENTAL SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC INFRASTRUCTURE IN THE CITY OF MINNEAPOLIS, 2021 EDITION.

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION SHALL GOVERN, EXCEPT AS MODIFIED BY THE PROJECT SPECIFICATIONS. (AVAILABLE AT: <http://www.dot.state.mn.us/teccsup>)

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE MN MUTCD, INCLUDING THE MOST CURRENT FIELD MANUAL. (AVAILABLE AT: <http://www.dot.state.mn.us/trafficeng>)

| AGENCY STANDARDS | |
|--|---|
| MNDOT STANDARD PLATES REFERENCED IN SET | |
| PLATE NO. | DESCRIPTION |
| S-297.250 | PEDESTRIAN CURB RAMP DETAILS |
| CITY OF MINNEAPOLIS STANDARD PLANS REFERENCED IN SET | |
| ROAD-1000 | B612 CURB AND GUTTER |
| ROAD-1001 | B612 CURB AND GUTTER TIPOUT |
| ROAD-1003 | B624 CURB AND GUTTER |
| ROAD-1009 | REINFORCING AT CURB OUTLET |
| ROAD-1010 | SAW CUT AT CURB AND GUTTER REMOVAL |
| ROAD-2000-R1 | DRIVEWAY REFERENCE |
| ROAD-2001-R1 | TYPICAL DRIVEWAY CONSTRUCTION |
| ROAD-2002 | TYPICAL DRIVEWAY |
| ROAD-2003-R1 | TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION |
| ROAD-2004 | GATES, MANHOLES, MONUMENTS, ETC. IN CONCRETE PAVEMENT |
| ROAD-3000 | TYPICAL ALLEY SECTION |
| ROAD-3001-R1 | TYPICAL CONCRETE PANEL LAYOUT FOR RESIDENTIAL ALLEY CORNERS |
| SEWR-1000-R1 | TYPICAL MANHOLE CONSTRUCTION |
| SEWR-1009 | CATCH BASIN INSTALLATION |
| SEWR-1011-R1 | CONCRETE ADJUSTING RINGS (INSTALLATION DETAIL) |
| SEWR-1017 | STANDARD CATCH BASIN CONSTRUCTION |
| SEWR-2000 | MANHOLE COVER CITY LOGO |
| SEWR-2004 | STANDARD PROFILE MANHOLE RING CASTING |
| SEWR-2006 | CATCH BASIN CASTING |
| SEWR-2007 | CURB BOX CASTING |
| SEWR-2008 | CATCH BASIN GRATE TYPE "V" |
| SEWR-8001 | SEDIMENT CONTROL-SILT FENCE |
| SEWR-8002 | SEDIMENT CONTROL-ROCK ENTRANCE |
| SEWR-8003 | INLET PROTECTION TYPE A & C |
| SEWR-8006 | DEWATERING-TRASH PUMP |
| SEWR-8007 | EROSION CONTROL NOTES |
| WATER-1000 | HYDRANT BRANCH AND VALVE BOX |
| WATER-2004 | PIPE BEDDING |
| WATER-2007 | VALVE BOX |
| WATER-3000 | STANDARD MANHOLE |

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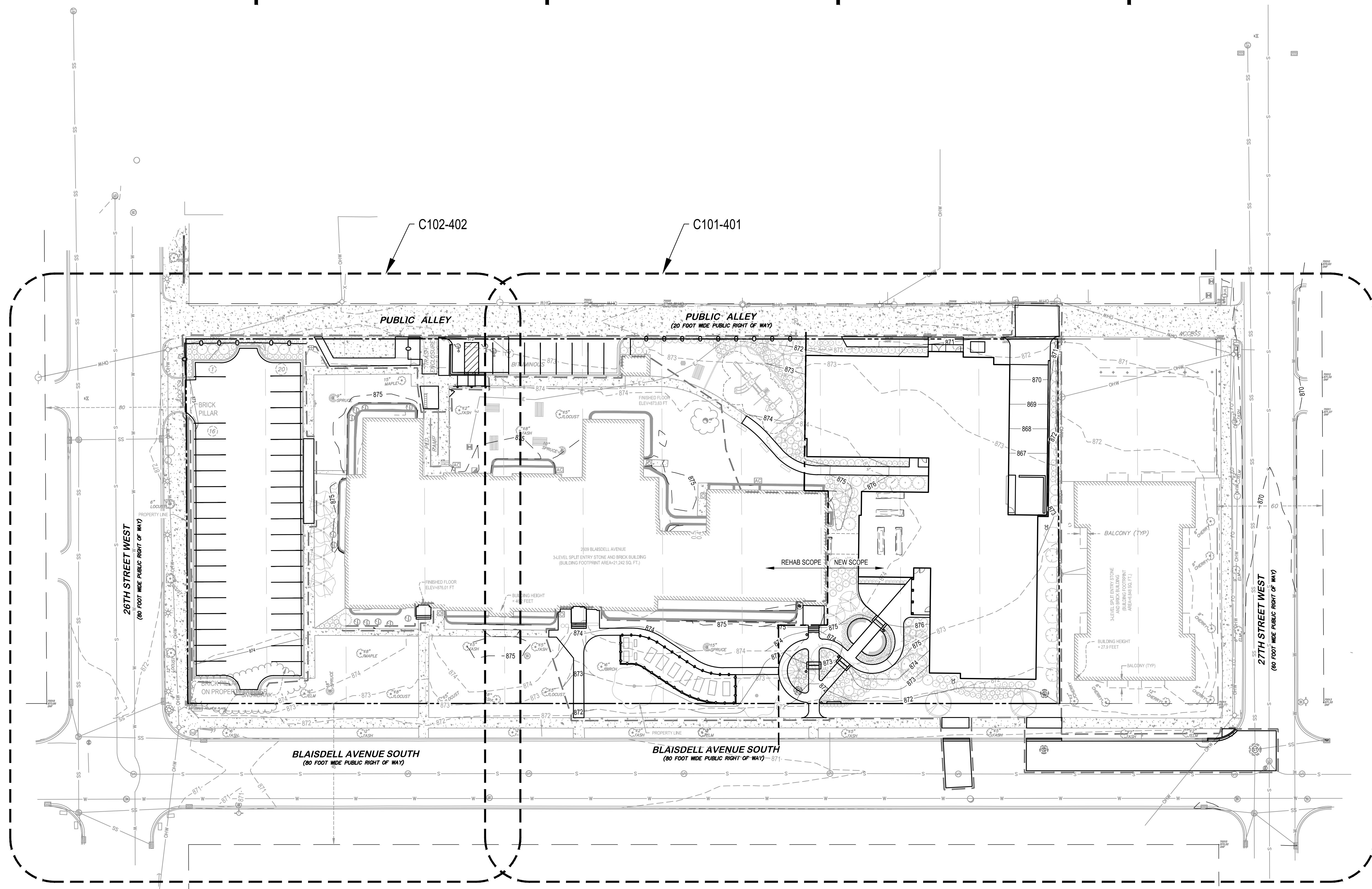
**2609 BLAISDELL AVE S
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DRAWING TITLE:
CIVIL STANDARD NOTES

FILE: ..\180586\600 Drawings\C180586 C001 Civil Standard Notes.dwg
DRAWN BY: MJJ
CHECKED BY: MMW
PRJ. NO.: 180586
DRAWING NO.:

C001

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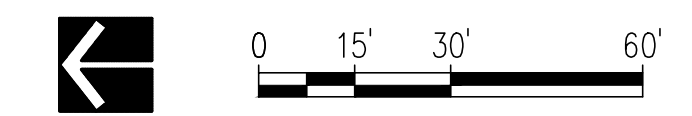
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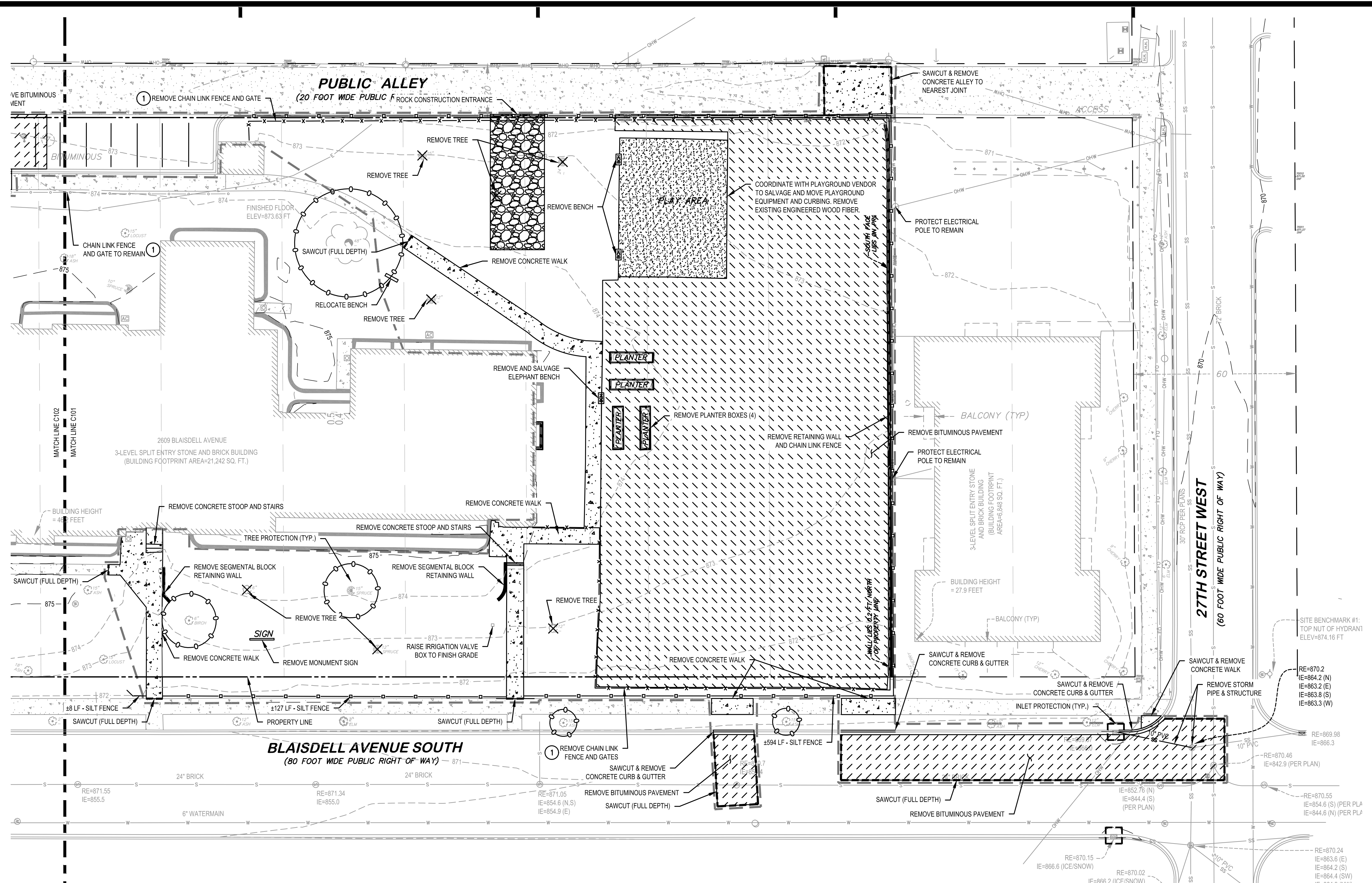
DRAWING TITLE:
INDEX PLAN



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FILE: ..180586600 Drawings\C180586 C002 Index.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PROJ. NO: 180586
 DRAWING NO:

C002



LEGEND

| | | | |
|--|----------------------------|--|--|
| | CONSTRUCTION LIMITS | | REMOVE EXISTING TREE |
| | PROPERTY LINE | | REMOVE BITUMINOUS PAVEMENT |
| | EXISTING MINOR CONTOUR | | MILL BITUMINOUS PAVEMENT |
| | EXISTING MAJOR CONTOUR | | REMOVE CONCRETE |
| | EXISTING STORM | | SAWCUT (FULL DEPTH) |
| | EXISTING SANITARY | | INLET PROTECTION, SEE 1/C501 |
| | EXISTING WATER | | SILT FENCE, SEE 3/C501 |
| | EXISTING OVERHEAD ELECTRIC | | TREE PROTECTION, SEE 6/L501 |
| | | | ROCK CONSTRUCTION ENTRANCE, SEE 5/C502 |

- SHEET NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON THIS PROJECT. THE EROSION CONTROL DEVICES SHOWN IN THESE DRAWINGS ARE THE MINIMUM REQUIREMENTS. CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND AS NECESSARY TO PREVENT RUNOFF, TRACKING, OR LOSS OF SOIL MATERIALS FROM DISTURBED AREAS ON THE PROJECT SITE.
 - SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS OTHERWISE DISTURBED ON THE SITE.
 - REMOVE ALL TOPSOIL AND ORGANICS, BRUSH, SHRUBS, AND TREES WITHIN THE CONSTRUCTION LIMITS PRIOR TO SUBGRADE PREPARATIONS UNLESS OTHERWISE NOTED IN THE DRAWINGS. TOPSOIL THICKNESS VARIES.

- SHEET KEY NOTES**
- FENCE LOCATION IS APPROXIMATE.

WARNING
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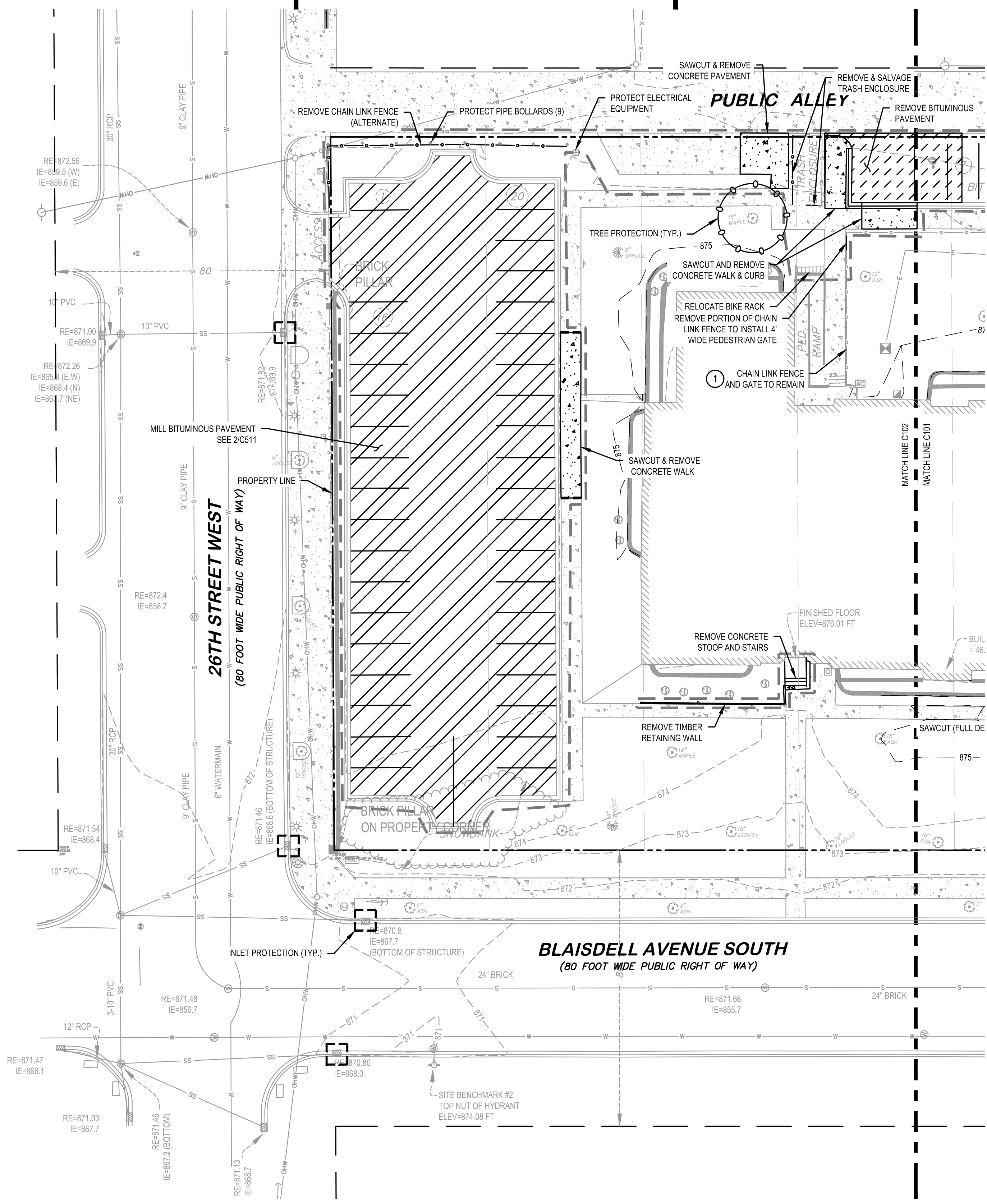
PROJECT NAME:
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DRAWING TITLE:
REMOVALS AND EROSION CONTROL PLAN

DRAWING NO.: **C101**

FILE: ..\180586\600 Drawings\C180586 C101 R & EC Plan.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PROJ. NO.: 180586
 DRAWING NO.:



LEGEND

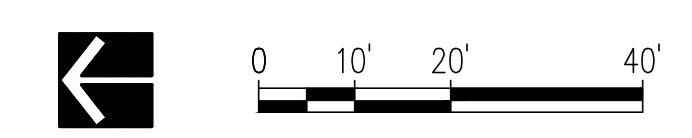
- CONSTRUCTION LIMITS
- - - PROPERTY LINE
- - - EXISTING MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - EXISTING STORM
- - - EXISTING SANITARY
- - - EXISTING WATER
- - - EXISTING OVERHEAD ELECTRIC
- ⊗ 15' ASH REMOVE EXISTING TREE
- [Hatched Box] REMOVE BITUMINOUS PAVEMENT
- [Diagonal Lines Box] MILL BITUMINOUS PAVEMENT
- [Stippled Box] REMOVE CONCRETE
- [Dashed Box] SAWCUT (FULL DEPTH)
- [Square with X] INLET PROTECTION, SEE 1/C501
- [Square with Circle] SILT FENCE, SEE 3/C501
- [Circle with X] TREE PROTECTION, SEE 6/L501
- [Stippled Box] ROCK CONSTRUCTION ENTRANCE, SEE 5/C502

SHEET NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON THIS PROJECT. THE EROSION CONTROL DEVICES SHOWN IN THESE DRAWINGS ARE THE MINIMUM REQUIREMENTS. CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND AS NECESSARY TO PREVENT RUNOFF, TRACKING, OR LOSS OF SOIL MATERIALS FROM DISTURBED AREAS ON THE PROJECT SITE.
2. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS OTHERWISE DISTURBED ON THE SITE.
3. REMOVE ALL TOPSOIL AND ORGANICS, BRUSH, SHRUBS, AND TREES WITHIN THE CONSTRUCTION LIMITS PRIOR TO SUBGRADE PREPARATIONS UNLESS OTHERWISE NOTED IN THE DRAWINGS. TOPSOIL THICKNESS VARIES.

SHEET KEY NOTES

- ① FENCE LOCATION IS APPROXIMATE.



WARNING
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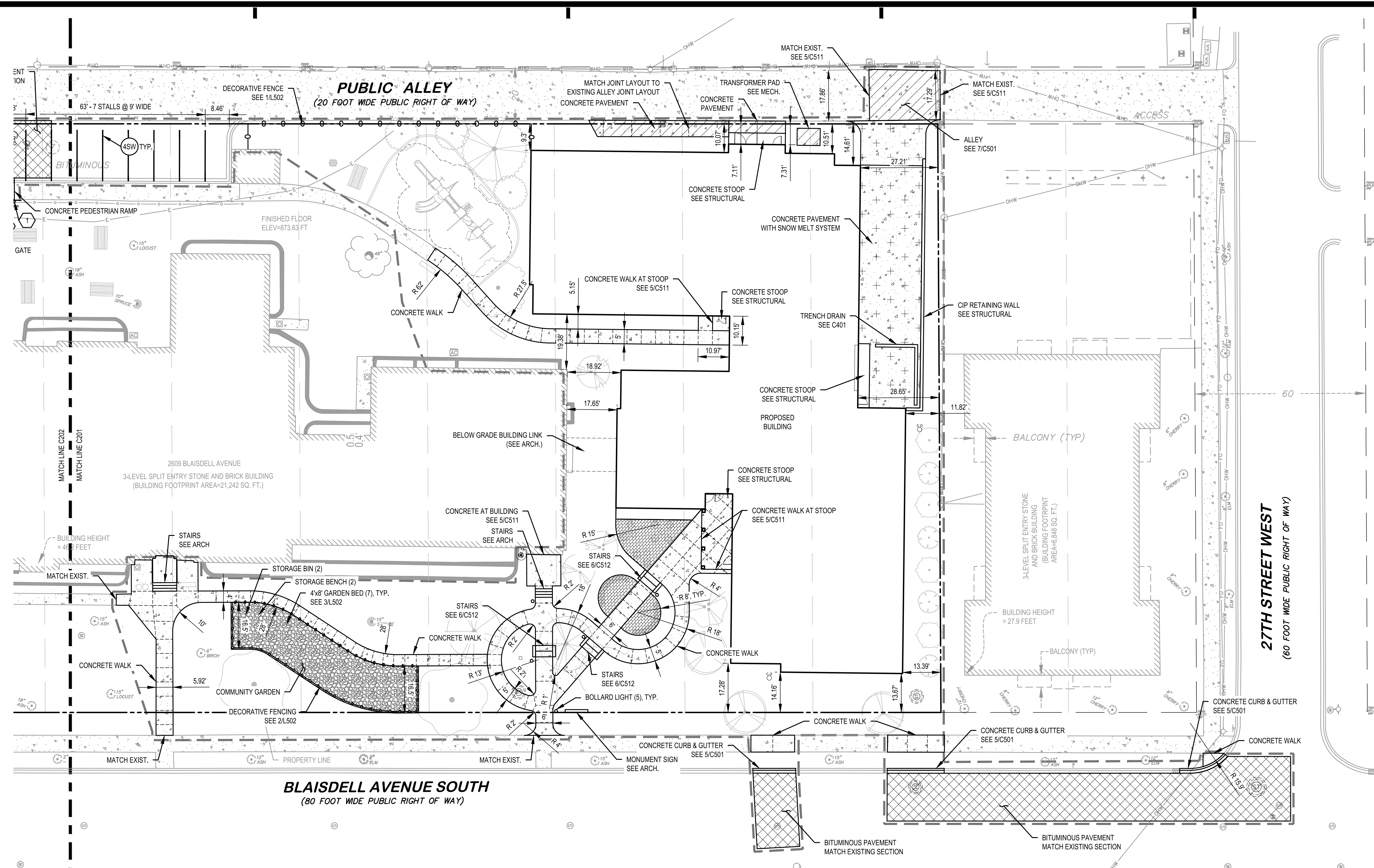
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DRAWING TITLE:
REMOVALS AND EROSION CONTROL PLAN

FILE: ..\180586\600 Drawings\C180586 C101 R & EC Plan.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PROJ. NO.: 180586
 DRAWING NO:

C102



LEGEND

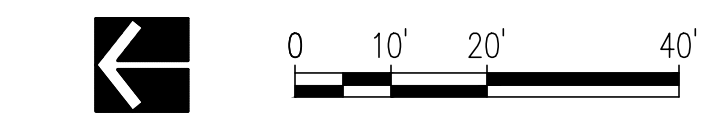
| | |
|--|--|
| | CONSTRUCTION LIMITS |
| | CONCRETE WALK, SEE INSET B/C511 |
| | CONCRETE PAVEMENT, SEE INSET A/C511 |
| | CONCRETE PAVEMENT WITH SNOW MELT, SEE INSET C/C511 |
| | BITUMINOUS PAVEMENT, SEE INSET D/C511 |
| | BITUMINOUS OVERLAY, SEE 2/C511 |
| | GRAVEL SURFACE, SEE LANDSCAPE |
| | PAVERS, SEE LANDSCAPE |
| | FENCE |
| | SIGN, SEE 4/C512 FOR SIGN DETAILS |
| | 1 HANDICAP PARKING |
| | 2 ACCESS AISLE |

| | |
|--|--|
| | PAVEMENT STRIPING CIRCLE - LATEX |
| | 1ST DIGIT WIDTH 4", 8", ETC. |
| | 2ND DIGIT PATTERN S - SOLID B - BROKEN D - DOTTED/DOUBLE |
| | 3RD DIGIT COLOR W - WHITE Y - YELLOW B - BLUE |

EXAMPLE: = 4" SOLID LINE WHITE - LATEX

SHEET NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP, STAIRS, RAMP, FOOTINGS, AND FOUNDATIONS.
- DIMENSIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF WALK, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES, AND FINISHED GRADES AS INDICATED ON THE PLANS. NO PONDING OF WATER WILL BE ALLOWED.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO MATCH EXISTING PAVEMENT GRADES AT THE IN POINTS. CUT CONTRACTION JOINTS AT EXISTING JOINT LOCATIONS.
- CONTINUE ALL JOINTS THROUGH THE CURB.
- SAW ALL CONCRETE CONSTRUCTION JOINTS, CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT.
- REINFORCE ODD SHAPED PAVING PANELS WITH #4 BARS AT 12" EACH WAY. AN ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.
- MATCH NEW CONSTRUCTION/CONTRACTION JOINTS WITH JOINTS IN ADJACENT CONCRETE.
- ENSURE POSITIVE DRAINAGE AT ALL SURFACING LOCATIONS.



WARNING
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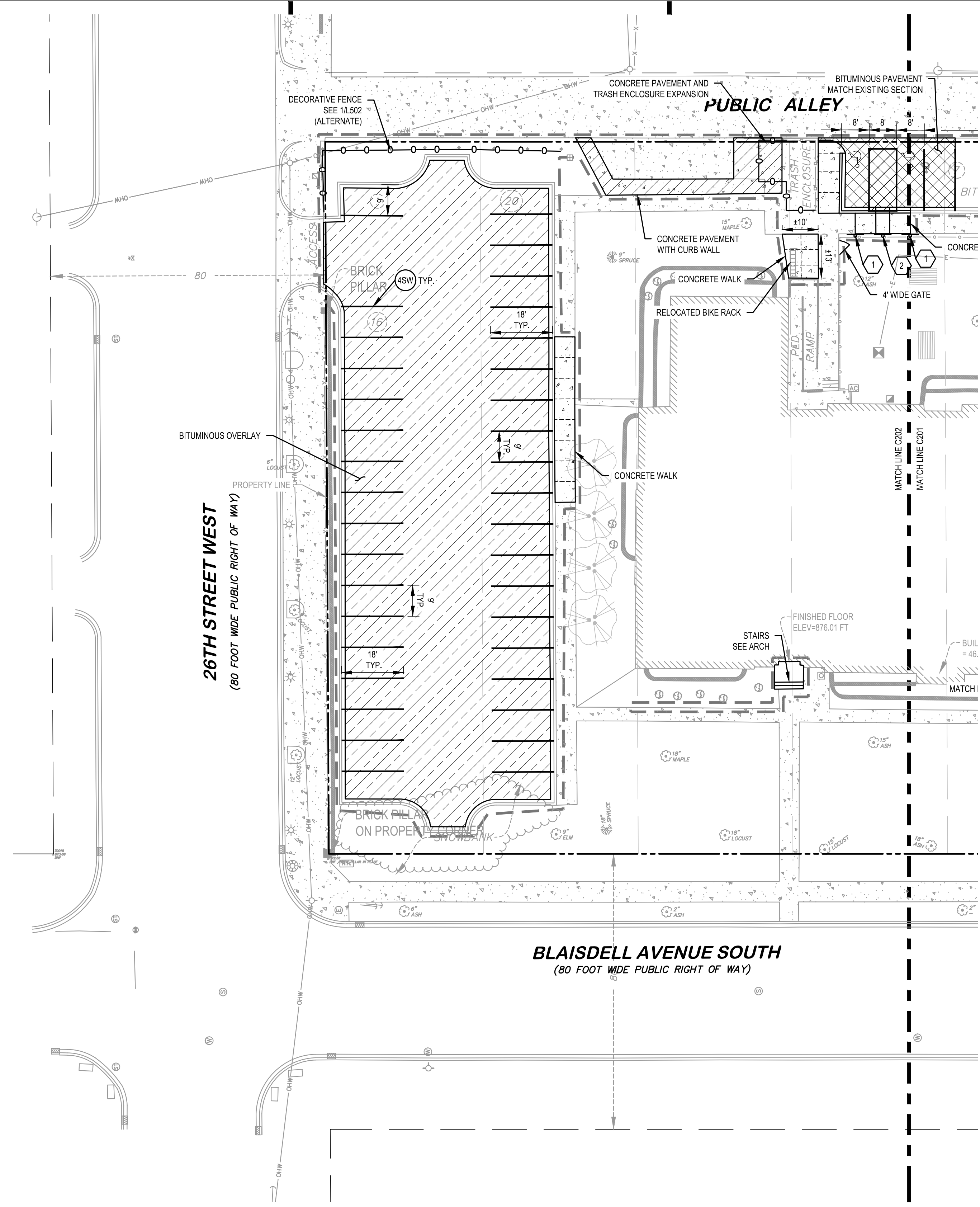
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DRAWING TITLE:
SITE PLAN

FILE: ..\180586\600 Drawings\C180586 C201 Site Plan.dwg
DRAWN BY: MJJ
CHECKED BY: MMW
PRJ. NO: 180586
DRAWING NO:
C201

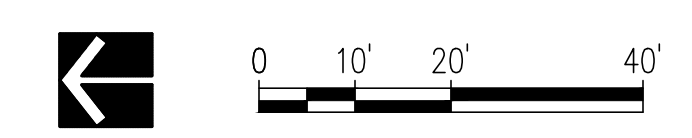


LEGEND

- CONSTRUCTION LIMITS
- CONCRETE WALK, SEE INSET B/C511
- CONCRETE PAVEMENT, SEE INSET A/C511
- CONCRETE PAVEMENT WITH SNOW MELT, SEE INSET C/C511
- BITUMINOUS PAVEMENT, SEE INSET D/C511
- BITUMINOUS OVERLAY, SEE 2/C511
- GRAVEL SURFACE, SEE LANDSCAPE
- PAVERS, SEE LANDSCAPE
- FENCE
- SIGN, SEE 4/C512 FOR SIGN DETAILS
- 1 HANDICAP PARKING
- 2 ACCESS AISLE
- PAVEMENT STRIPING
- CIRCLE - LATEX
- 1ST DIGIT WIDTH 4", 8", ETC.
- 2ND DIGIT PATTERN S - SOLID B - BROKEN D - DOTTED/DOUBLE
- 3RD DIGIT COLOR W - WHITE Y - YELLOW B - BLUE
- EXAMPLE: (4SW) = 4" SOLID LINE WHITE - LATEX

SHEET NOTES

1. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP, STAIRS, RAMP, FOOTINGS, AND FOUNDATIONS.
2. DIMENSIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, OUTSIDE FACE OF BUILDING, EDGE OF WALK, OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
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4. THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO MATCH EXISTING PAVEMENT GRADES AT TIE-IN POINTS. CUT CONTRACTION JOINTS AT EXISTING JOINT LOCATIONS.
5. CONTINUE ALL JOINTS THROUGH THE CURB.
6. SAW ALL CONCRETE CONSTRUCTION JOINTS. CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT.
7. REINFORCE ODD SHAPED PAVING PANELS WITH #4 BARS AT 12" EACH WAY. AN ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.
8. MATCH NEW CONSTRUCTION/CONTRACTION JOINTS WITH JOINTS IN ADJACENT CONCRETE.
9. ENSURE POSITIVE DRAINAGE AT ALL SURFACING LOCATIONS.



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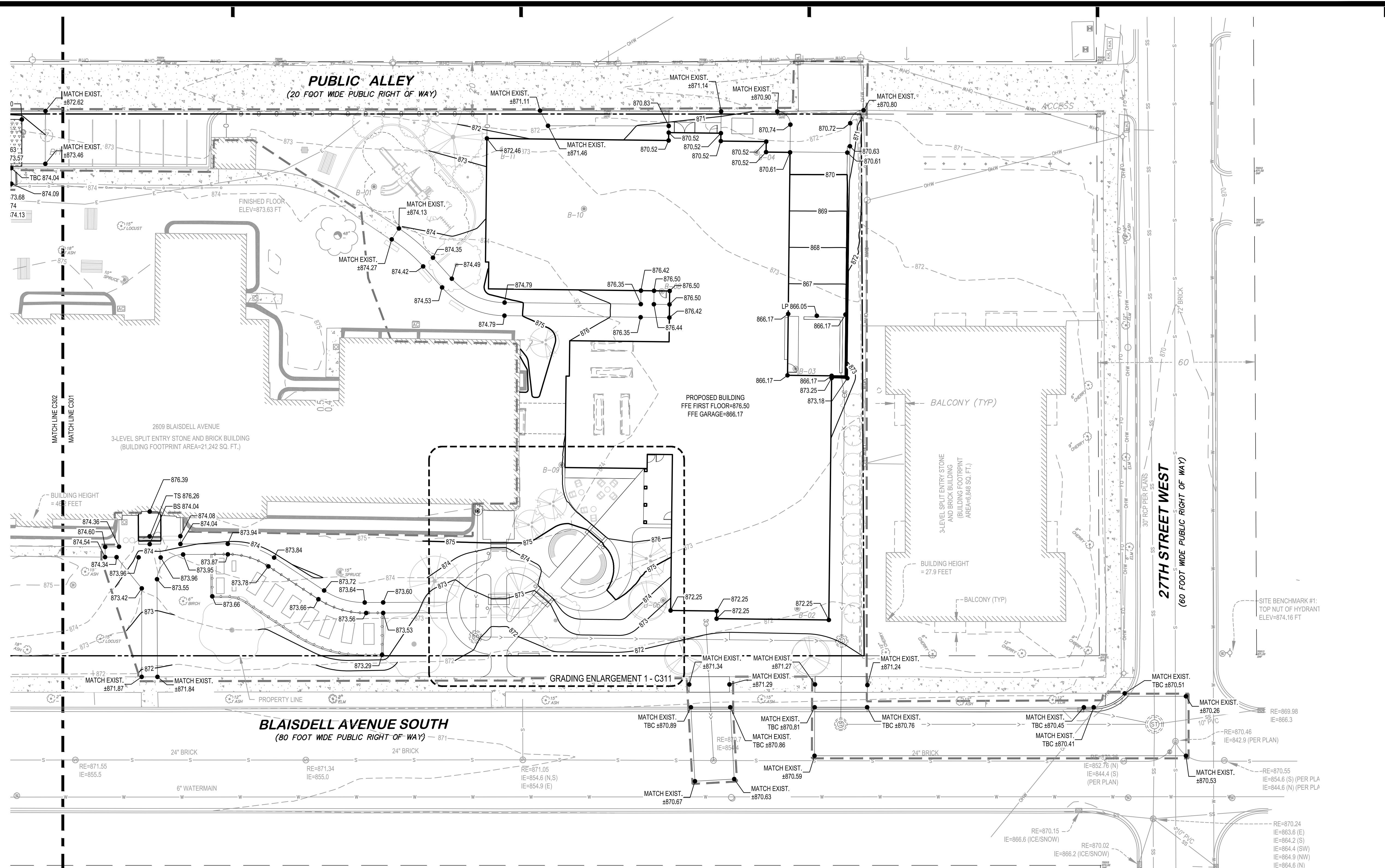
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C202



| SITE SUMMARY TABLE (EXCLUDES RIGHT-OF-WAY) | | |
|--|-----------|-------------|
| PROJECT DISTURBED AREA | 41,755 SF | 0.959 ACRES |
| EXISTING IMPERVIOUS AREA | 63,723 SF | 1.46 ACRES |
| PROPOSED IMPERVIOUS AREA | 64,432 SF | 1.48 ACRES |

| LEGEND | |
|--------|--|
| | CONSTRUCTION LIMITS |
| | MINOR CONTOUR |
| | MAJOR CONTOUR |
| | SPOT ELEVATION |
| | DRAINAGE ARROW |
| | GRADE BREAK |
| | SWALE |
| | ADA CRITICAL AREA (2% MAX. SLOPE ANY DIRECTION) |
| | APPROXIMATE SOIL BORING LOCATION SEE SHEET NOTE 4 |

- SHEET NOTES**
- ALL GRADES SHOWN IN THE DRAWINGS ARE TO FINISH GRADE. THE CONTRACTOR SHALL MAKE THE APPROPRIATE DEDUCTIONS FOR VARYING SUBGRADE ELEVATIONS.
 - ALL DISTURBED AREAS SHALL BE FINISHED WITH 4 INCHES OF TOPSOIL UNLESS INDICATED OTHERWISE. REFER TO LANDSCAPE FOR SEEDING.
 - PROJECT SITE DISTURBANCE FOR THE PRIVATE PROPERTY IS LESS THAN ONE ACRE SO PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED PER CHAPTER 54 STORM WATER MANAGEMENT OF THE CITY CODE.
 - NO GROUNDWATER OBSERVED DURING DRILLING OR AT THE TIME OF COMPLETION OF DRILLING OPERATIONS IN THE BORINGS. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY INTERTEK-PSI DATED MARCH 11, 2021.

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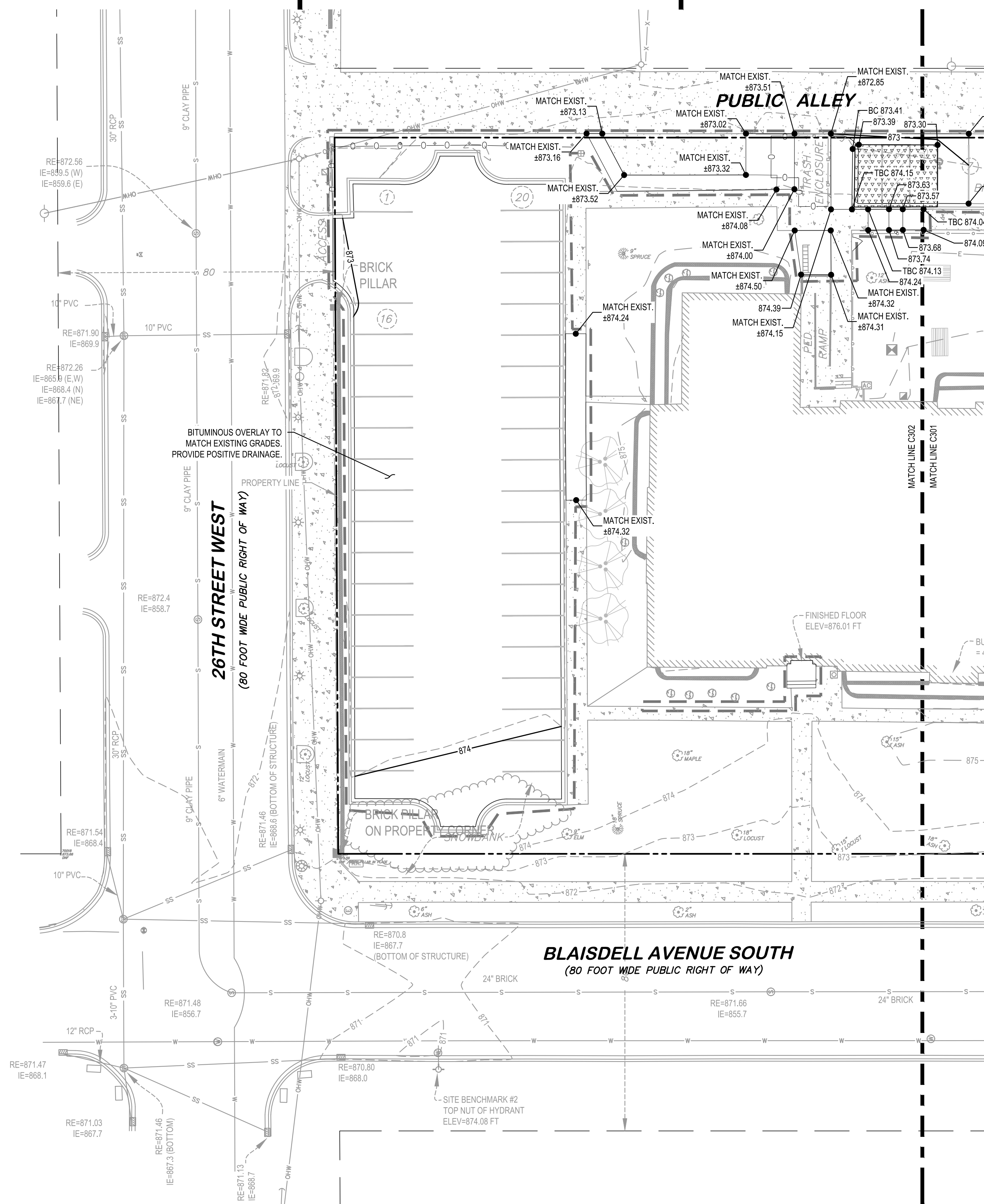
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DRAWING TITLE:
GRADING PLAN

FILE: ..\180586\600 Drawings\C180586 C301 Grading Plan.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PROJ. NO: 180586
 DRAWING NO:

C301

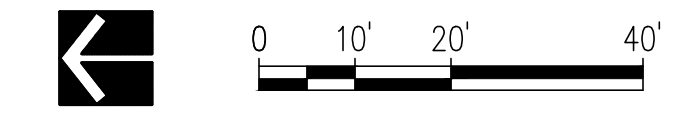


LEGEND

- CONSTRUCTION LIMITS
- 872 MINOR CONTOUR
- 870 MAJOR CONTOUR
- 872.25 SPOT ELEVATION
- DRAINAGE ARROW
- - - GRADE BREAK
- SWALE
- ▨ ADA CRITICAL AREA (2% MAX. SLOPE ANY DIRECTION)
- ⊙ B-01 APPROXIMATE SOIL BORING LOCATION SEE SHEET NOTE 4

SHEET NOTES

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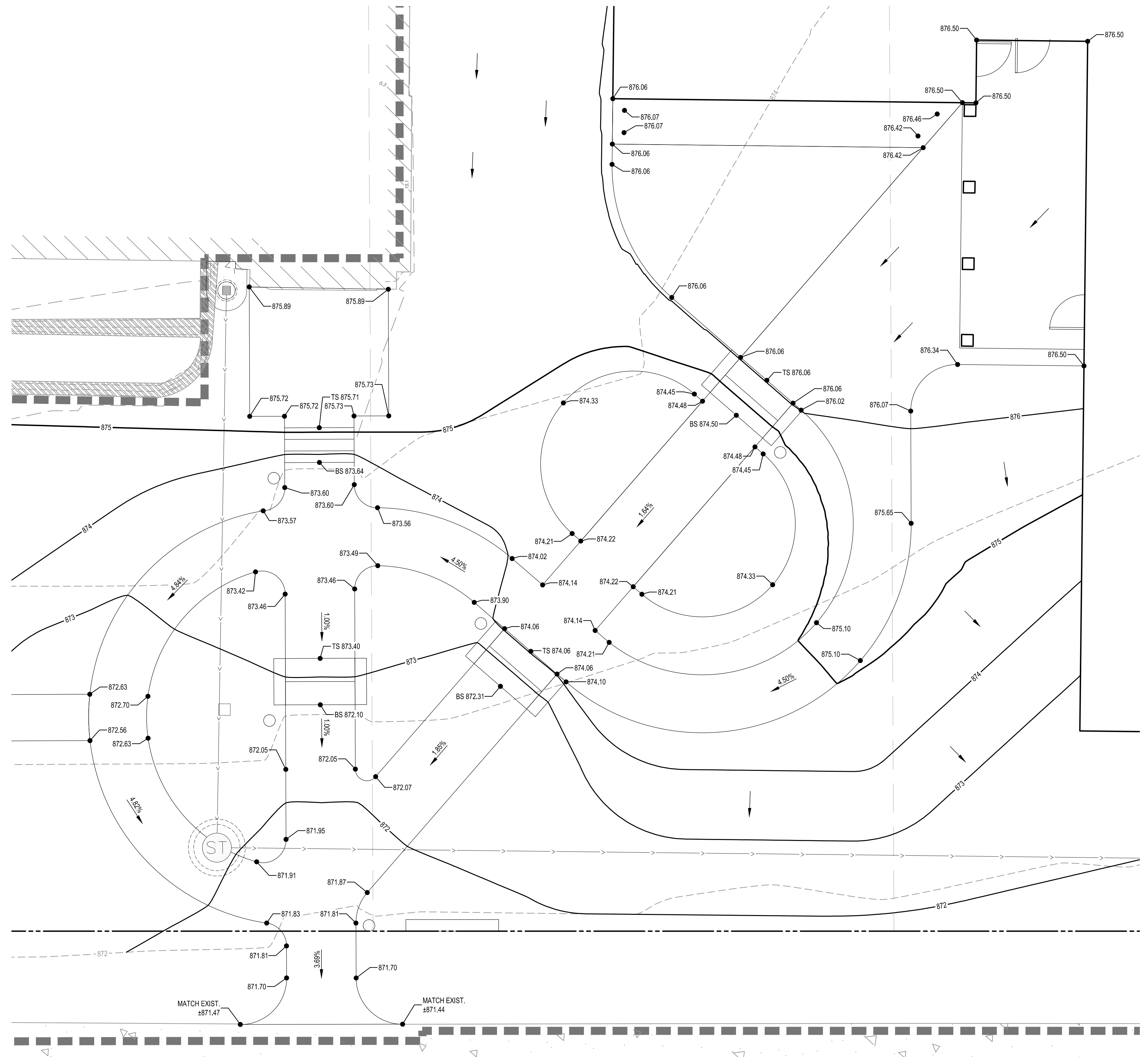
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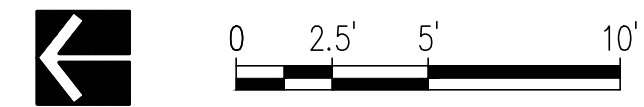
DRAWING TITLE:
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FILE: ..\180586\600 Drawings\C180586 C301 Grading Plan.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PRJ. NO.: 180586
 DRAWING NO:

C302



GRADING ENLARGEMENT 1



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| | | |
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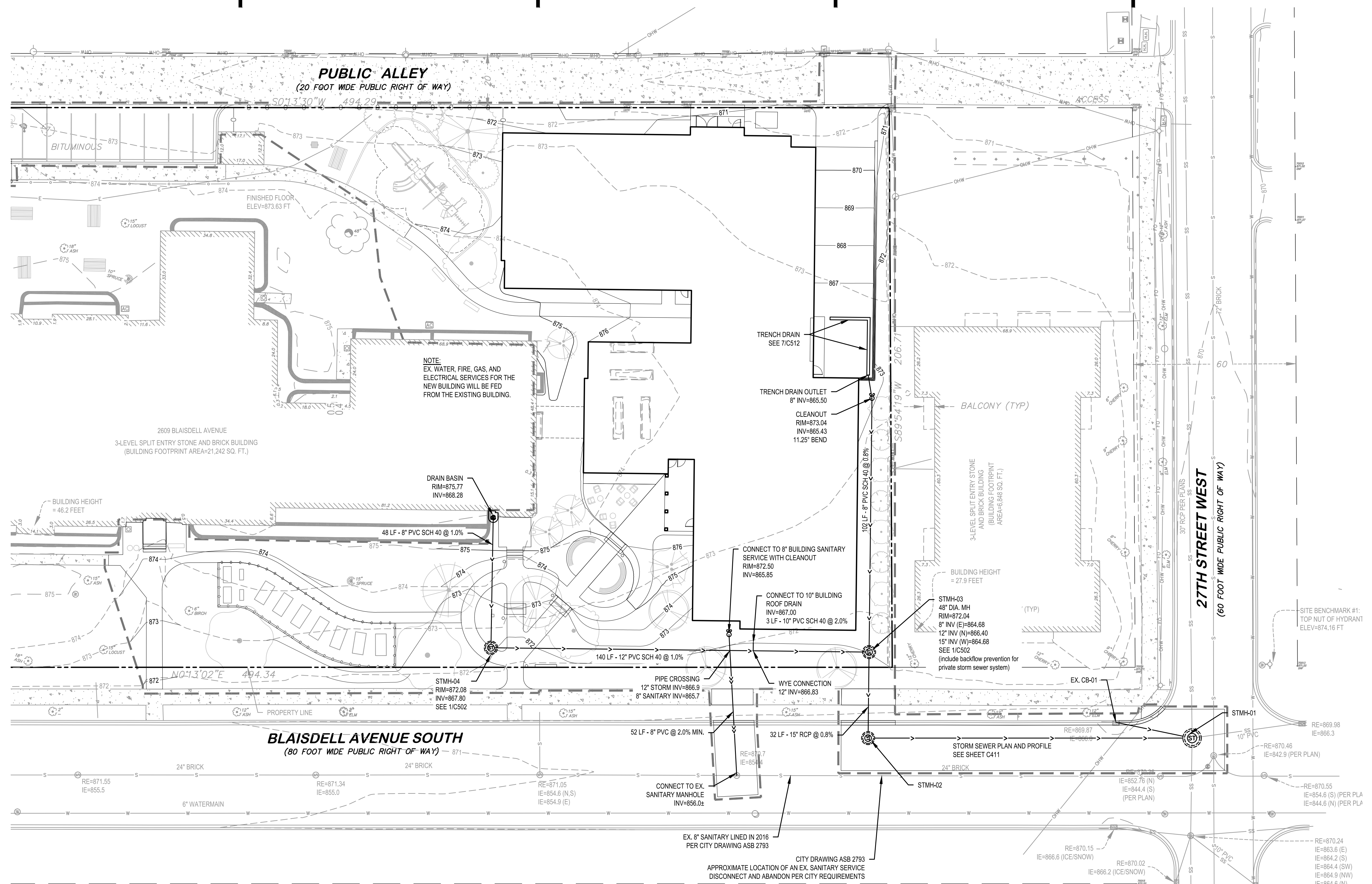
PROJECT NAME:
WHITTIER COMMUNITY HOUSING

2609 BLAISDELL AVE S
 MINNEAPOLIS, MN 55408

DRAWING TITLE:
GRADING ENLARGEMENT

FILE: ..\180586\600 Drawings\C180586 C311 Grading Enlargements.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PROJ NO: 180586
 DRAWING NO:

C311

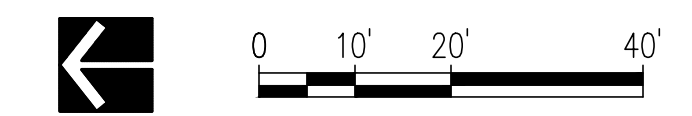


LEGEND

- CONSTRUCTION LIMITS
- STORM SEWER
- SANITARY SEWER
- ⊕ STORM MANHOLE
- ⊕ CLEANOUT, SEE 1/C512
- ⊕ DRAIN BASIN, SEE 5/C512

SHEET NOTES

1. EXISTING UTILITIES ARE BASED ON RECORD DRAWINGS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. UTILIZE THE "GOPHER STATE ONE CALL SYSTEM" (1-800-252-1166) TO HAVE PUBLIC UTILITIES LOCATED WITHIN THE CONSTRUCTION LIMITS. CONTACT THE OWNER TO LOCATE PRIVATE UTILITIES LOCATED WITHIN THE CONSTRUCTION LIMITS. NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS.
2. UNLESS OTHERWISE NOTED, ALL UTILITY TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL 2 ON SHEET C512.
3. ADJUST ALL RISERS AND CASTINGS TO FINISH GRADE.
4. NOT ALL PIPE FITTINGS ARE LABELED IN THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PIPE FITTINGS TO COMPLETE THE WORK. ALL FITTINGS SHALL CONFORM TO CITY DETAILS AND SPECIFICATIONS.
5. CONSTRUCT CLEANOUTS IN ACCORDANCE WITH DETAIL 1/C512.



WARNING
 LOCATION OF UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR. CALL BEFORE DIGGING. GOPHER STATE ONE CALL 1-800-252-1166 REQUIRED BY LAW

CITY OF MINNEAPOLIS APPROVAL STAMP:



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
CommonBond Communities

1080 MONTREAL AVENUE
 ST PAUL, MN 55116

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

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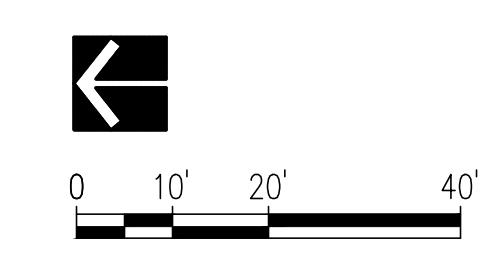
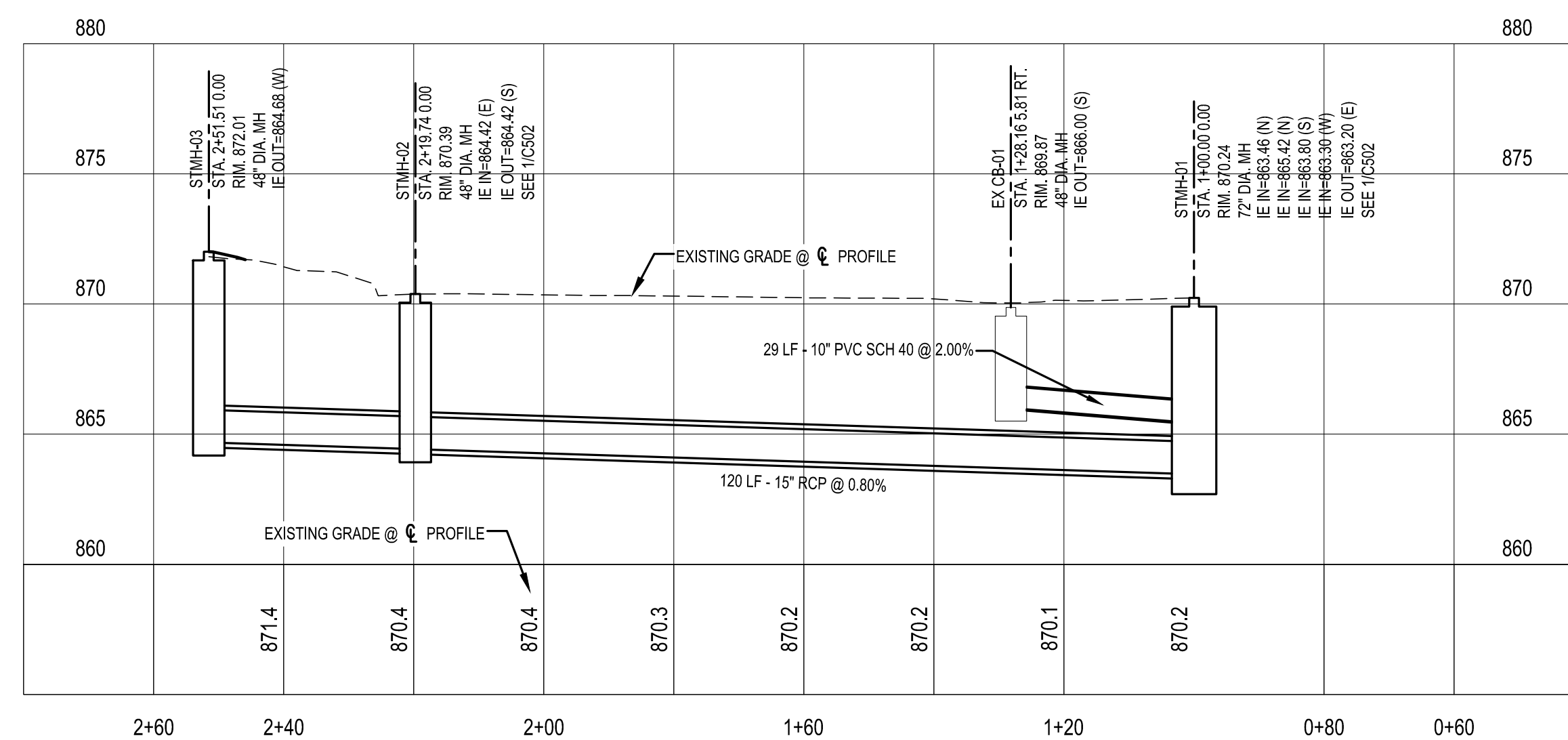
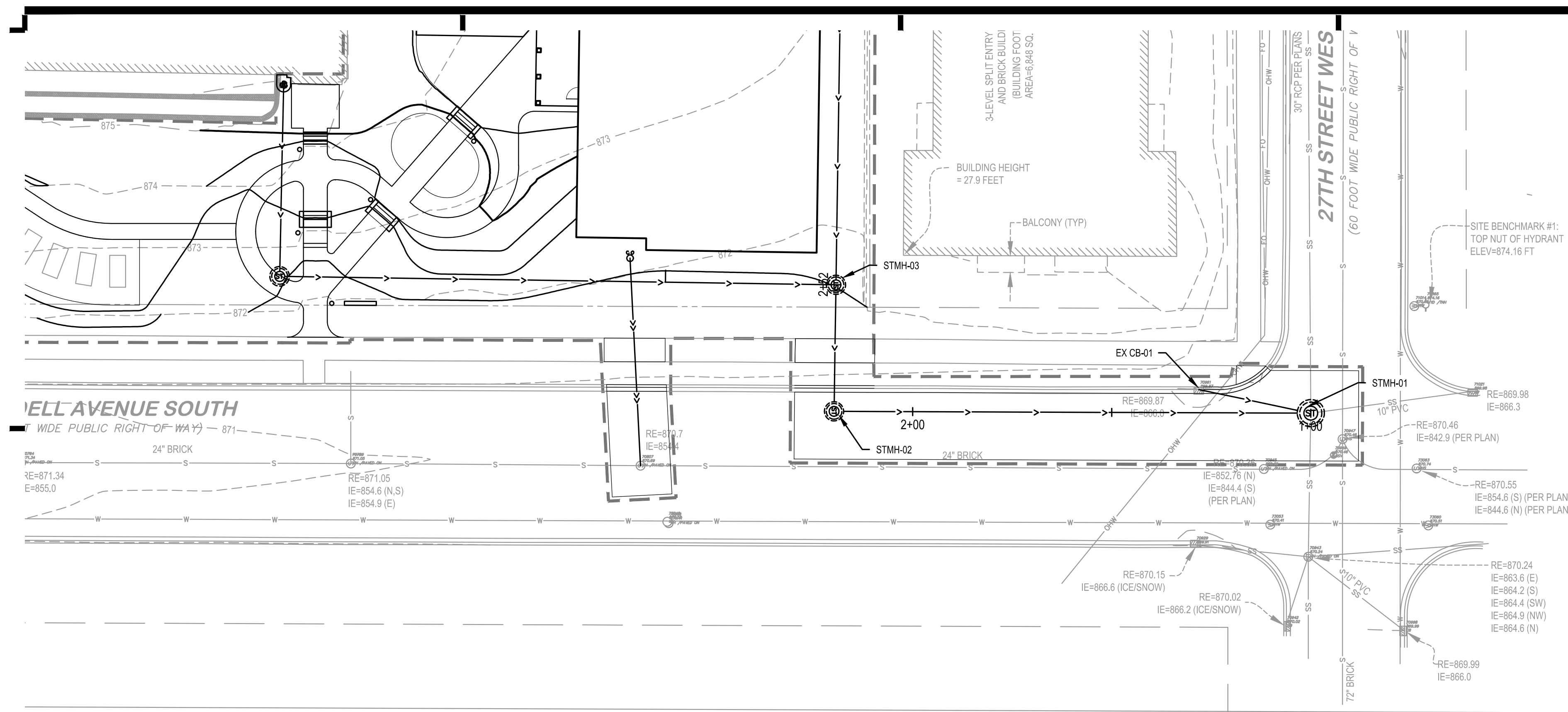
PROJECT NAME:
WHITTIER COMMUNITY HOUSING

2609 BLAISDELL AVE S
 MINNEAPOLIS, MN 55408

DRAWING TITLE:
UTILITY PLAN

FILE: ..\180556600 Drawings\C180586 C401 Utility Plan.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PROJ. NO: 180586
 DRAWING NO:

C401



WARNING
 LOCATION OF UNDERGROUND UTILITIES TO
 BE VERIFIED BY CONTRACTOR. CALL
 BEFORE DIGGING. GOPHER STATE ONE CALL
 1-800-252-1166 REQUIRED BY LAW

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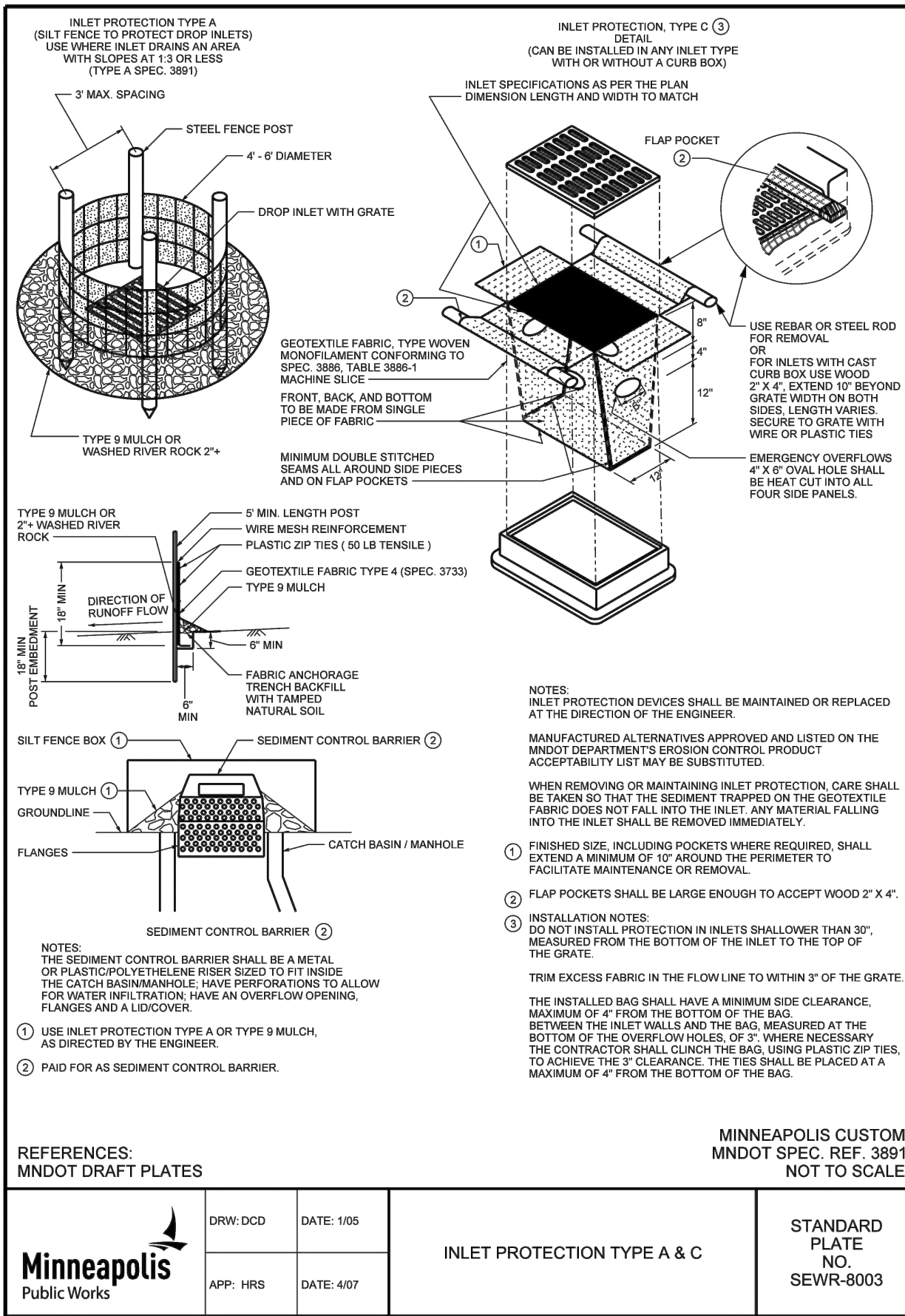
PROJECT NAME:
**WHITTIER COMMUNITY
 HOUSING**

2609 BLAISDELL AVE S
 MINNEAPOLIS, MN 55408

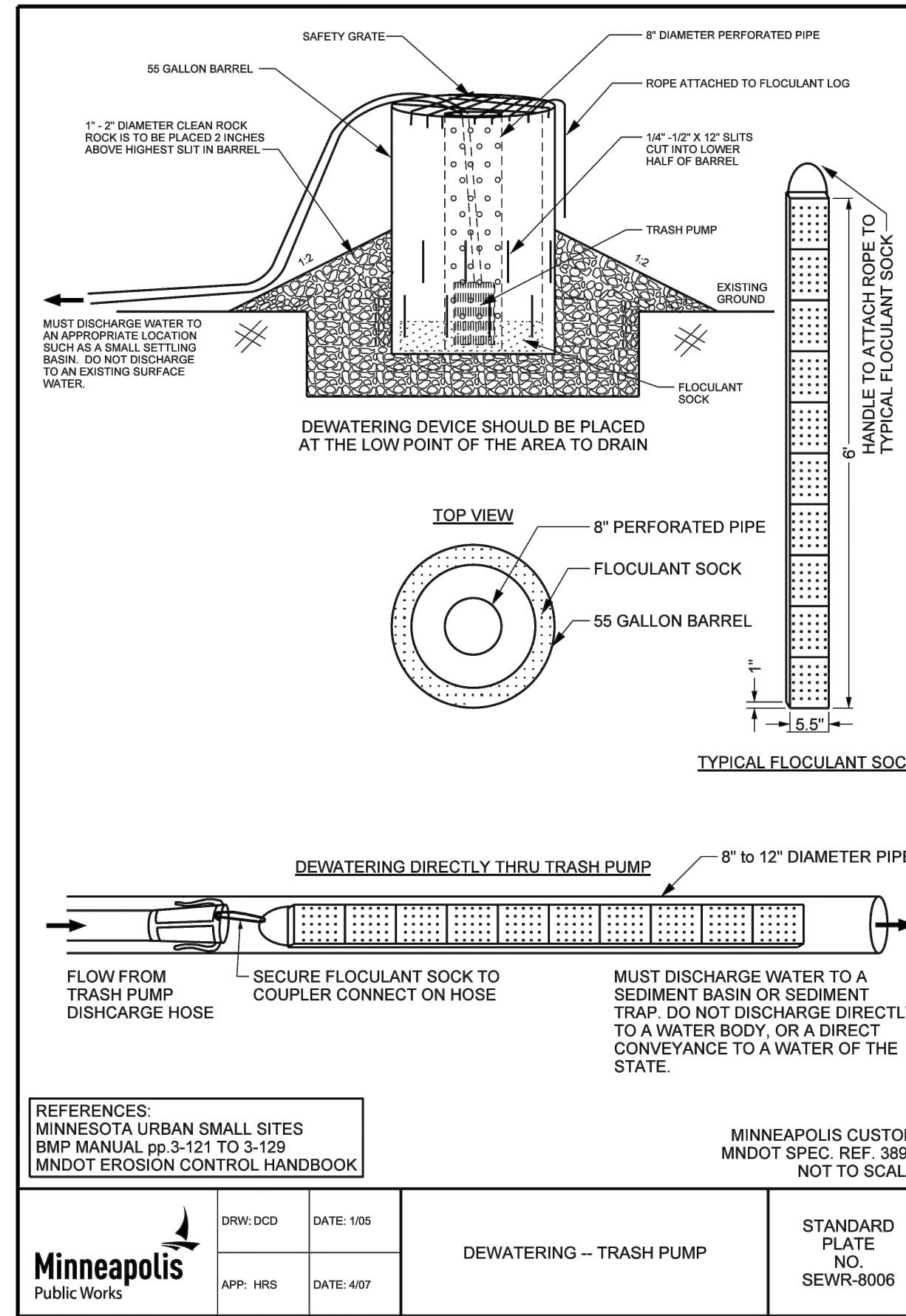
DRAWING TITLE:
**STORM SEWER PLAN
 & PROFILE**

FILE: ..\180586\600 Drawings\C180586 C411 Storm Sewer Plan & Profile.dwg
 DRAWN BY: MJJ
 CHECKED BY: MMW
 PRJ. NO.: 180586
 DRAWING NO:

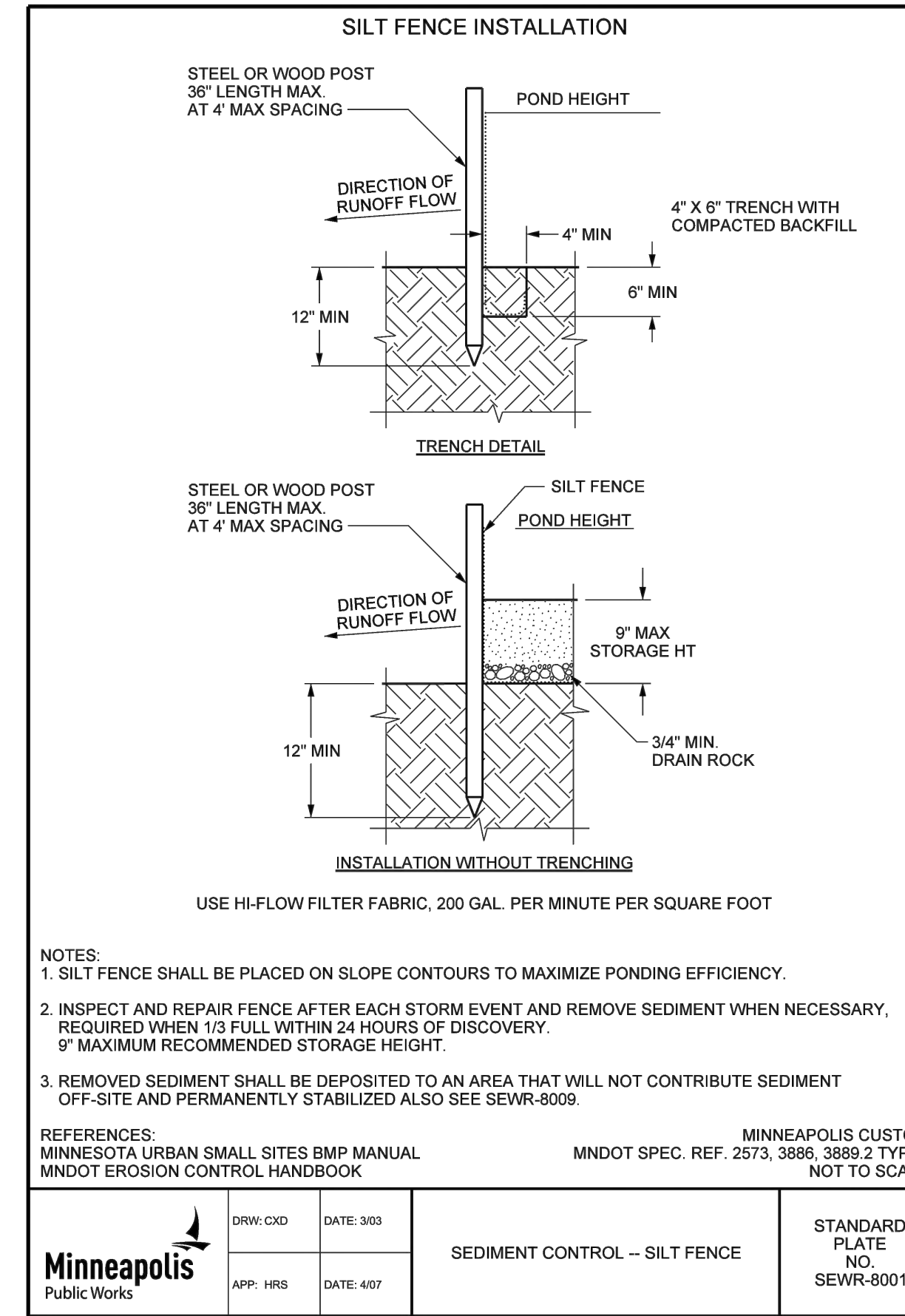
C411



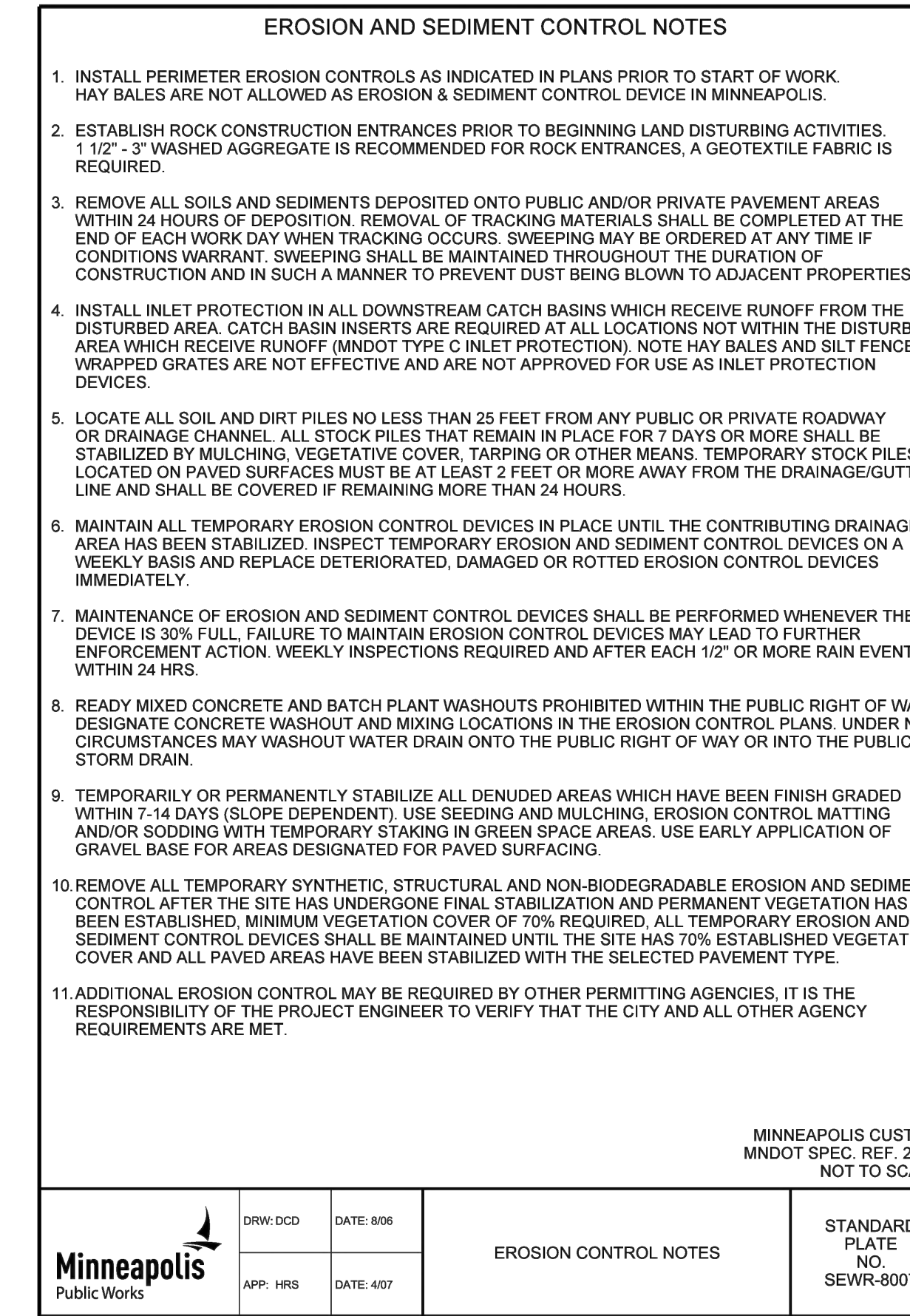
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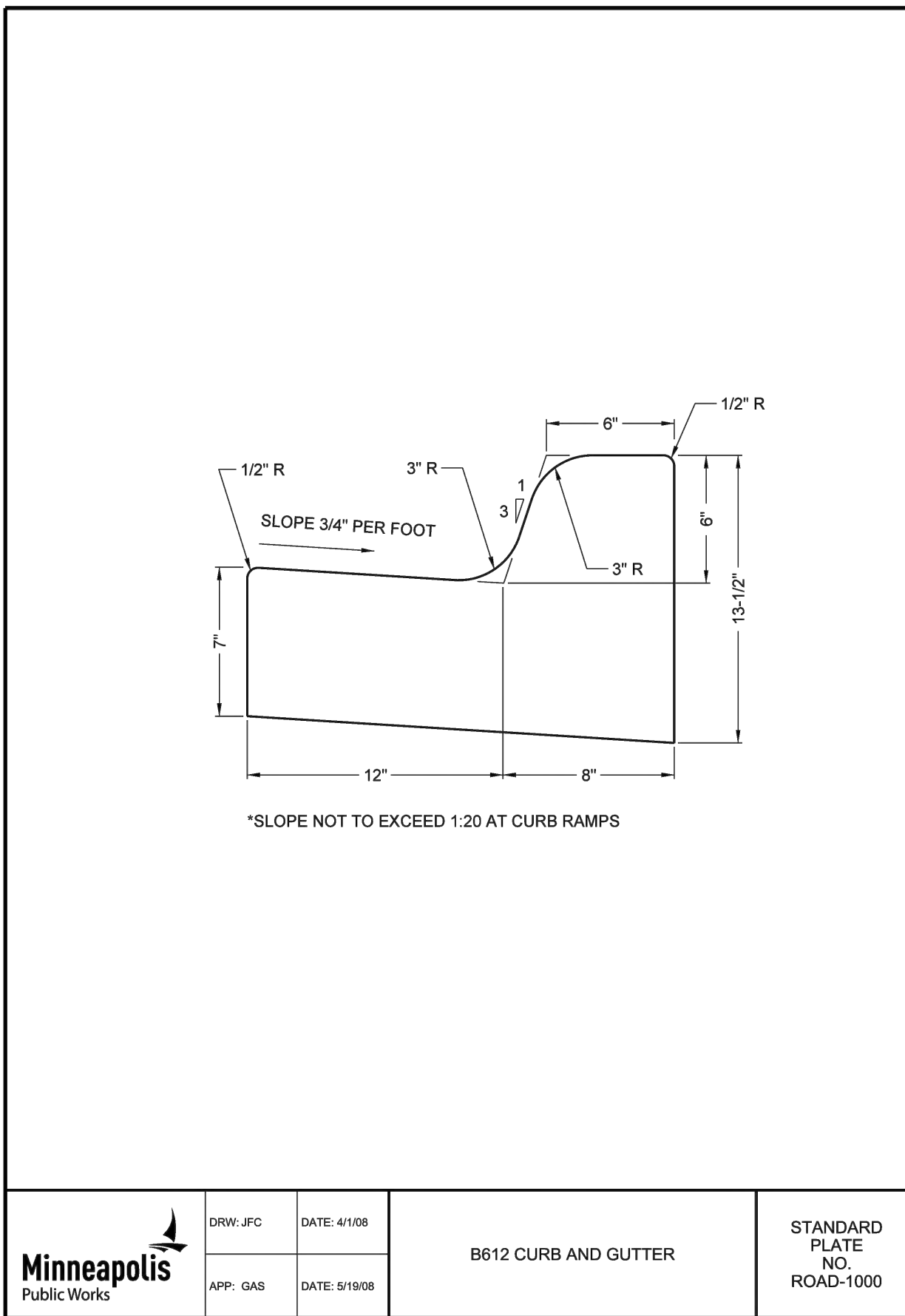
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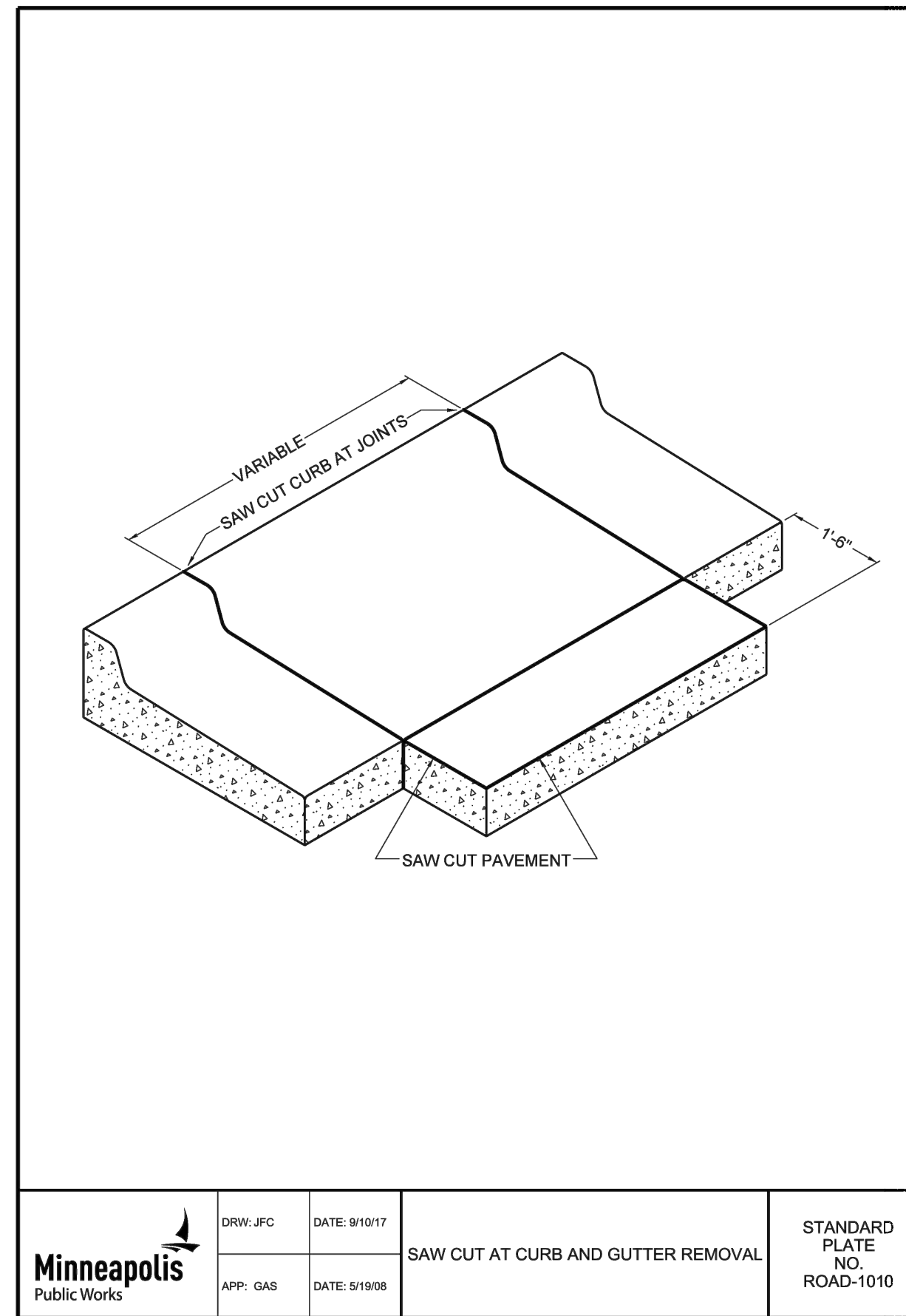
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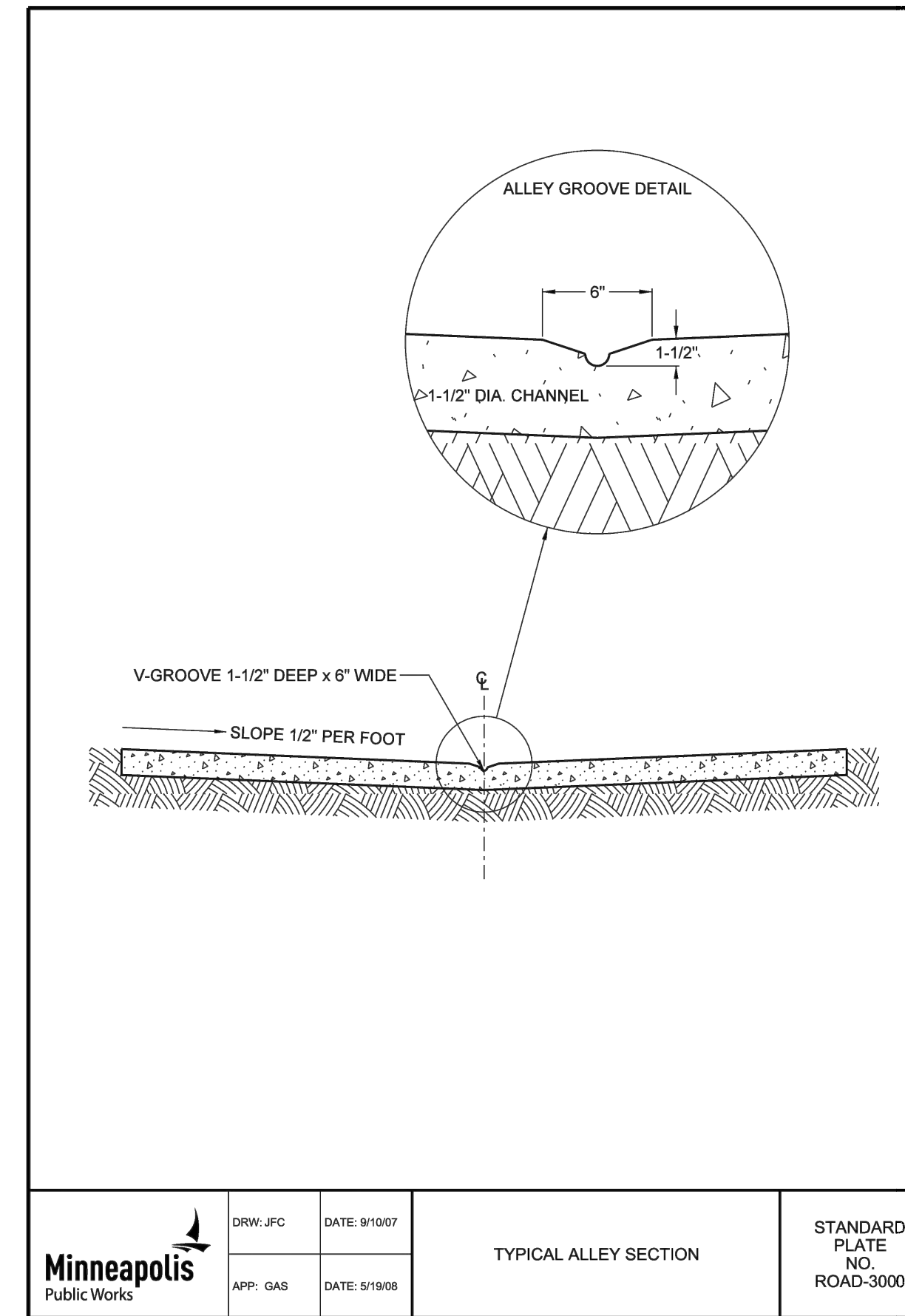
4 NOT TO SCALE



5 NOT TO SCALE



6 NOT TO SCALE



7 NOT TO SCALE

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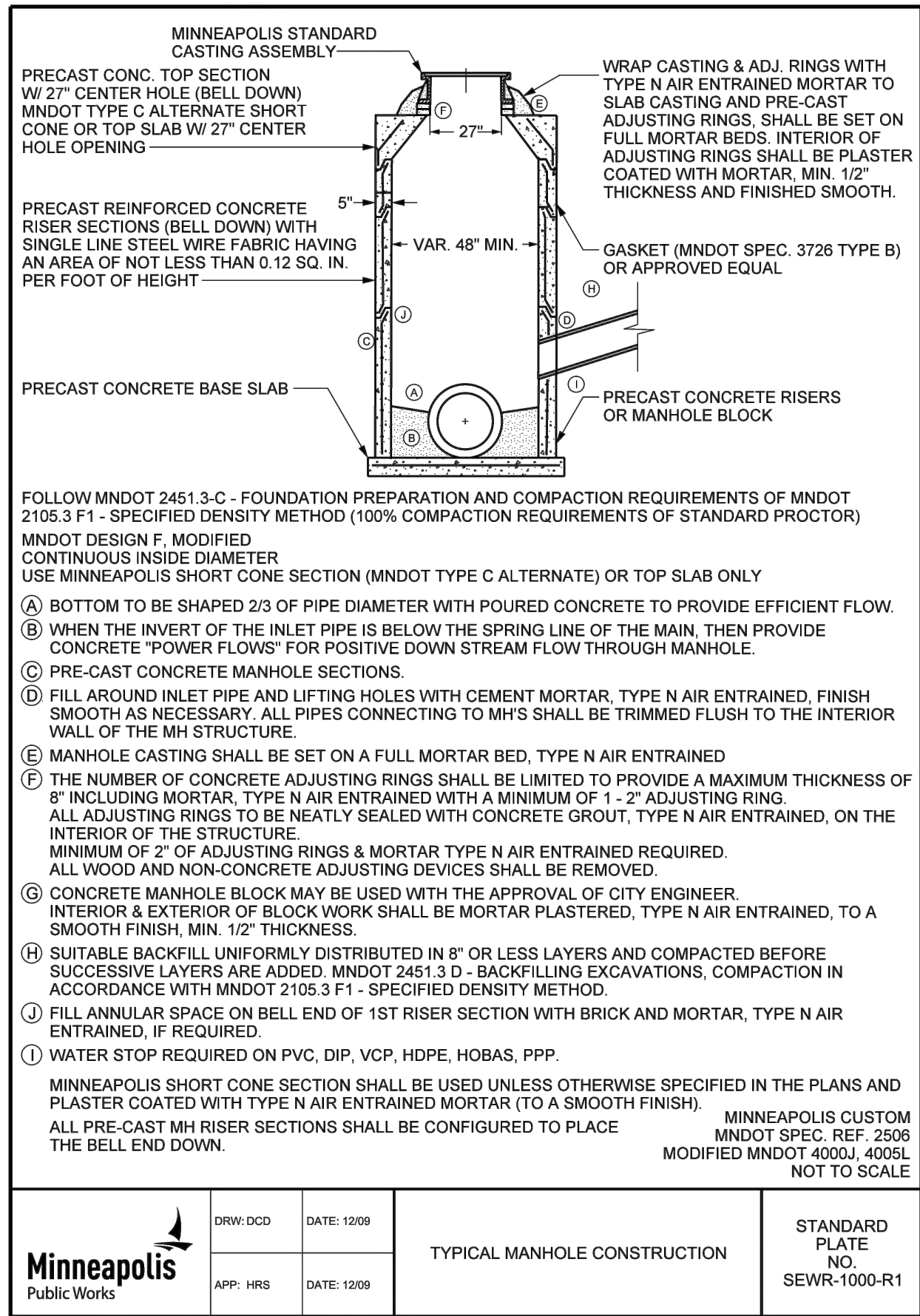
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PROJECT NAME:
WHITTIER COMMUNITY HOUSING

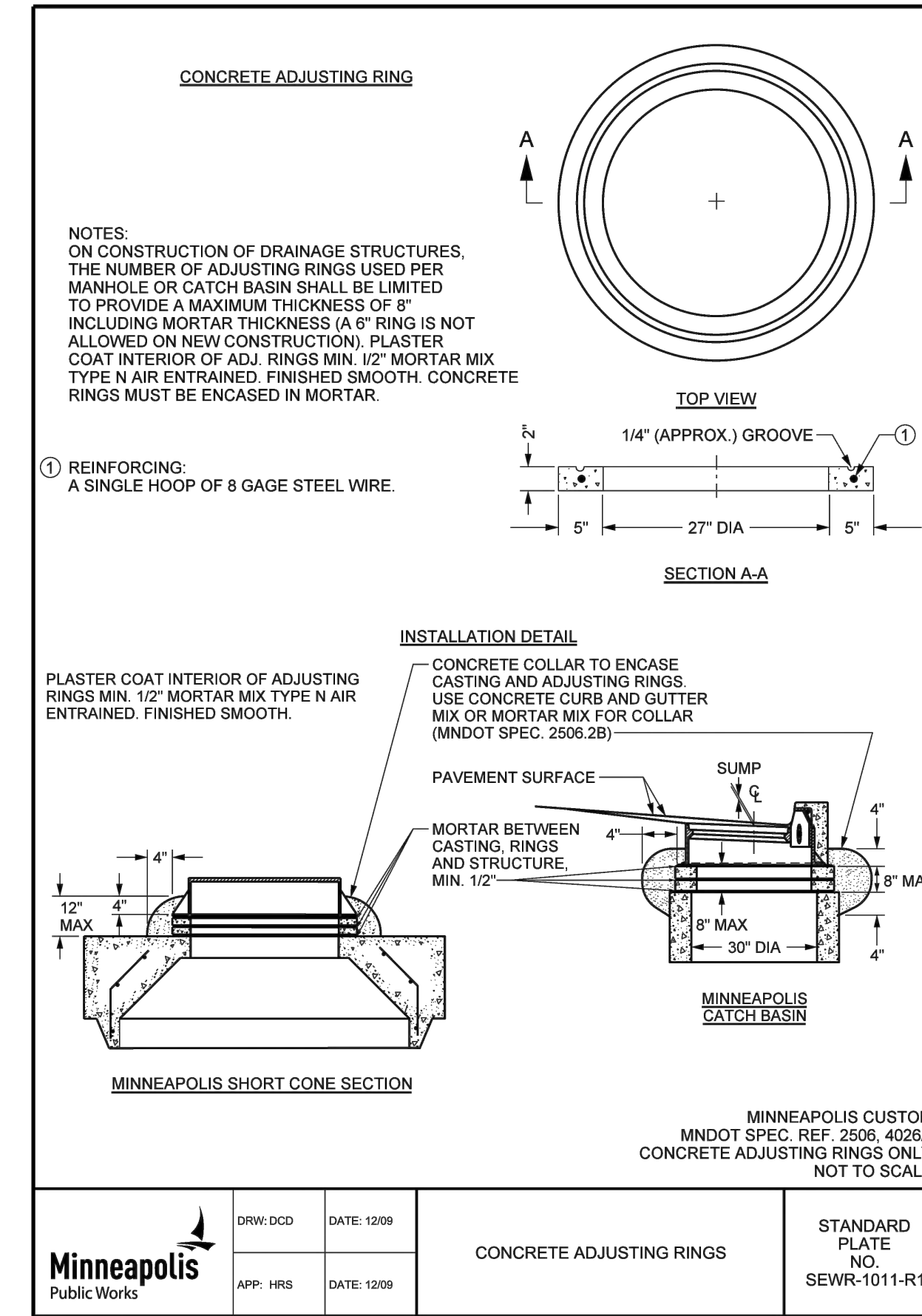
2609 BLAISDELL AVE S
MINNEAPOLIS, MN 55408

DRAWING TITLE:
CITY DETAILS

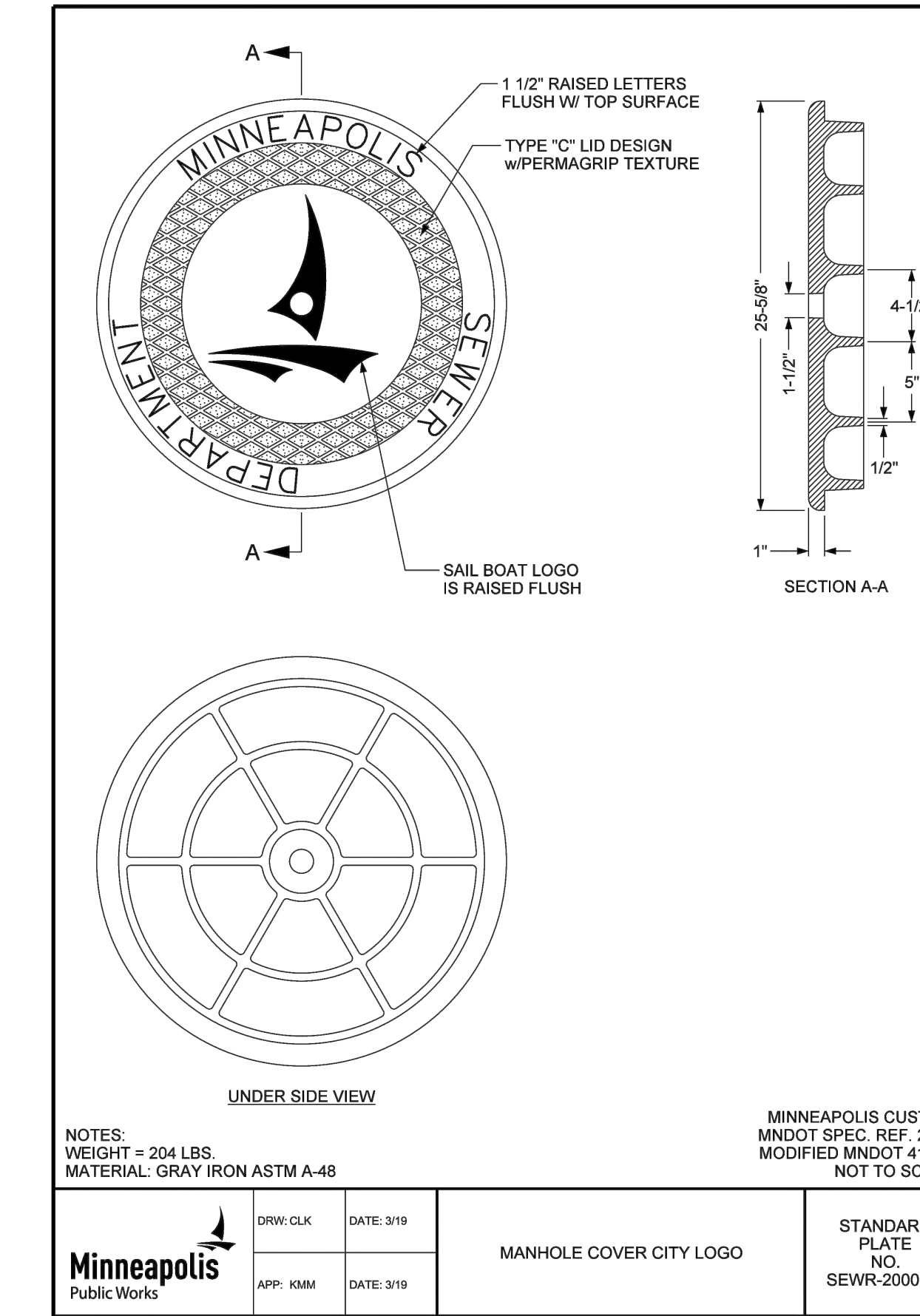
FILE: ..\180586\600 Drawings\C180586 C501 City Details.dwg
DRAWN BY: MJJ
CHECKED BY: MMW
PRJ. NO: 180586
DRAWING NO: **C501**



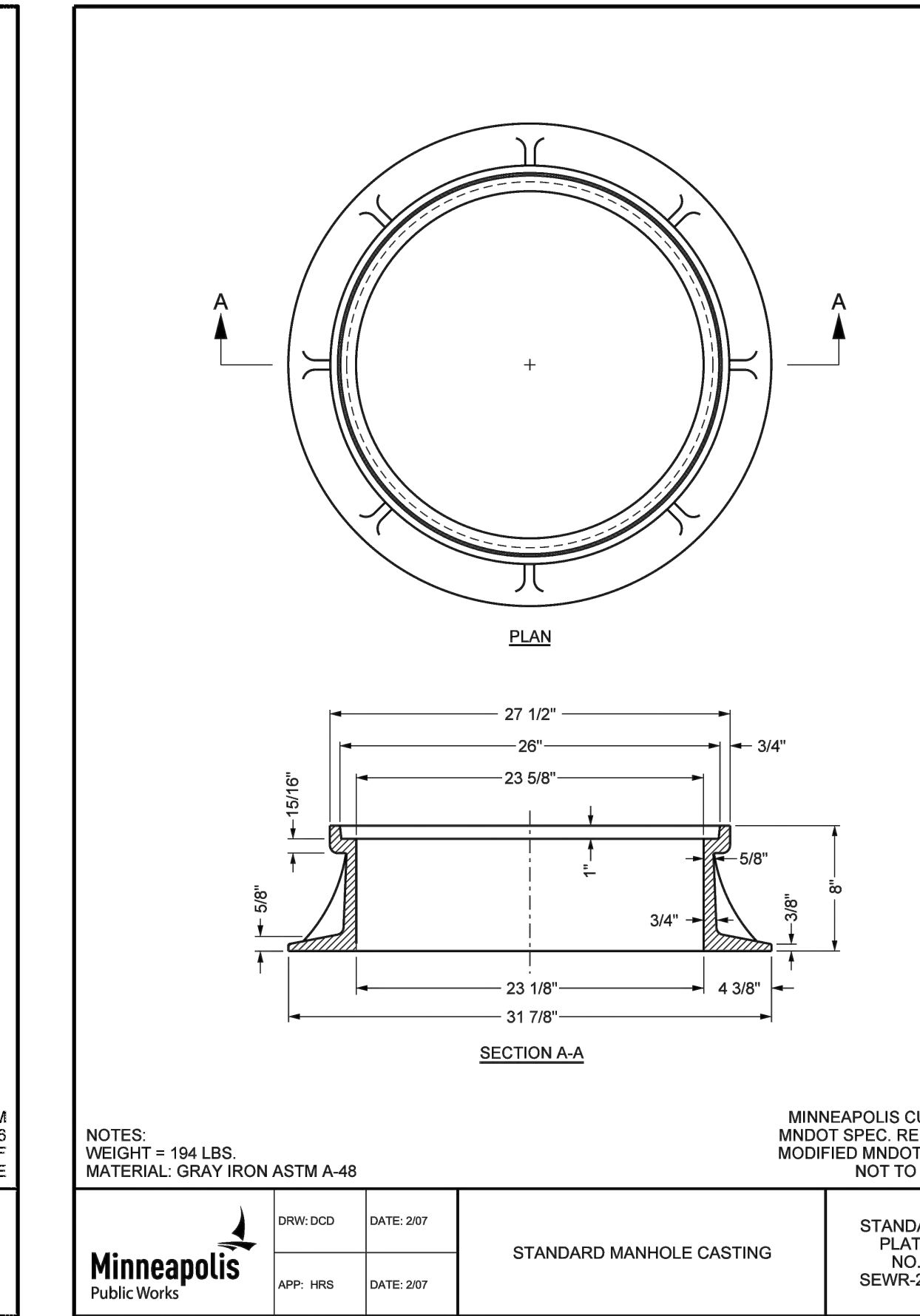
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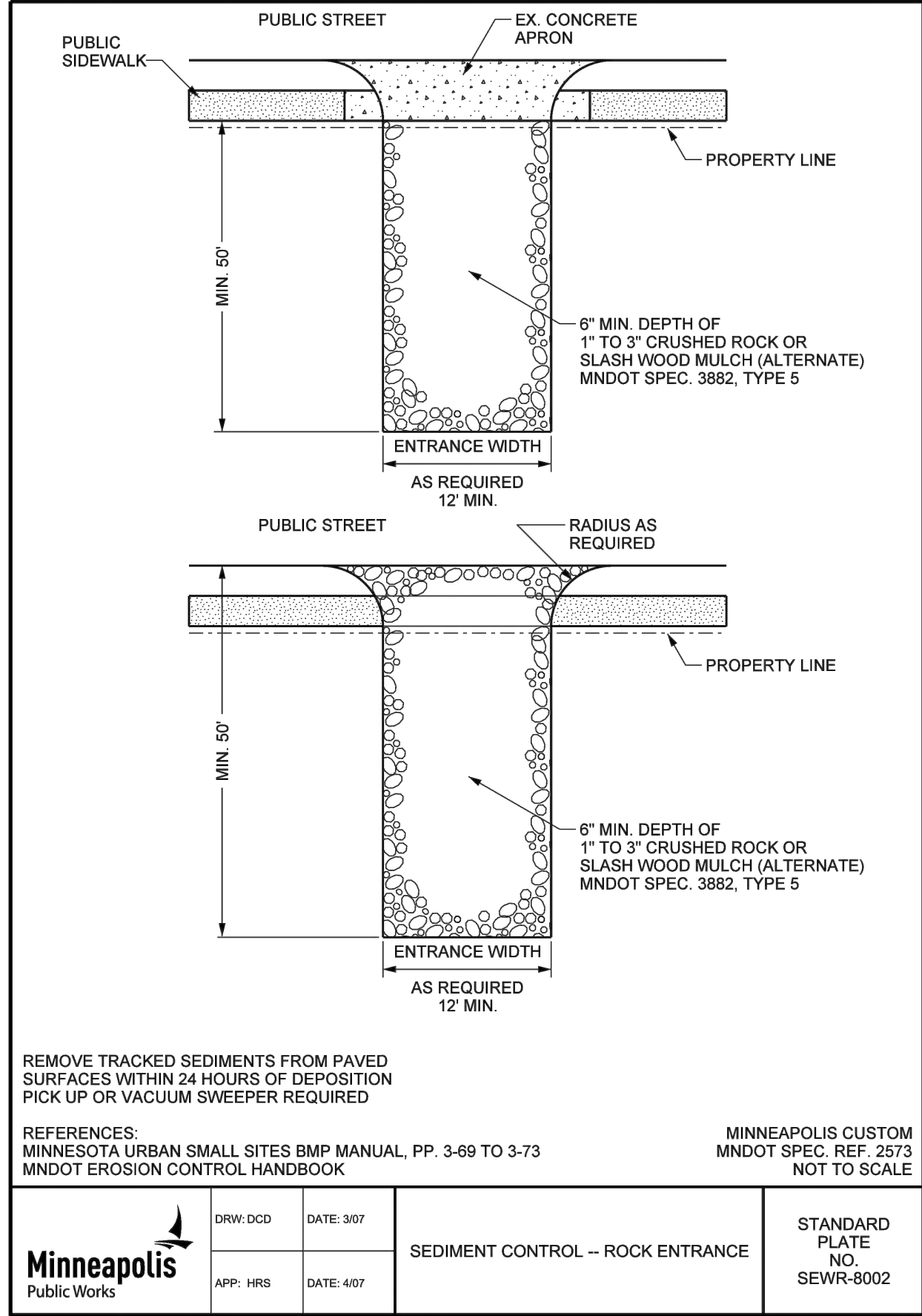
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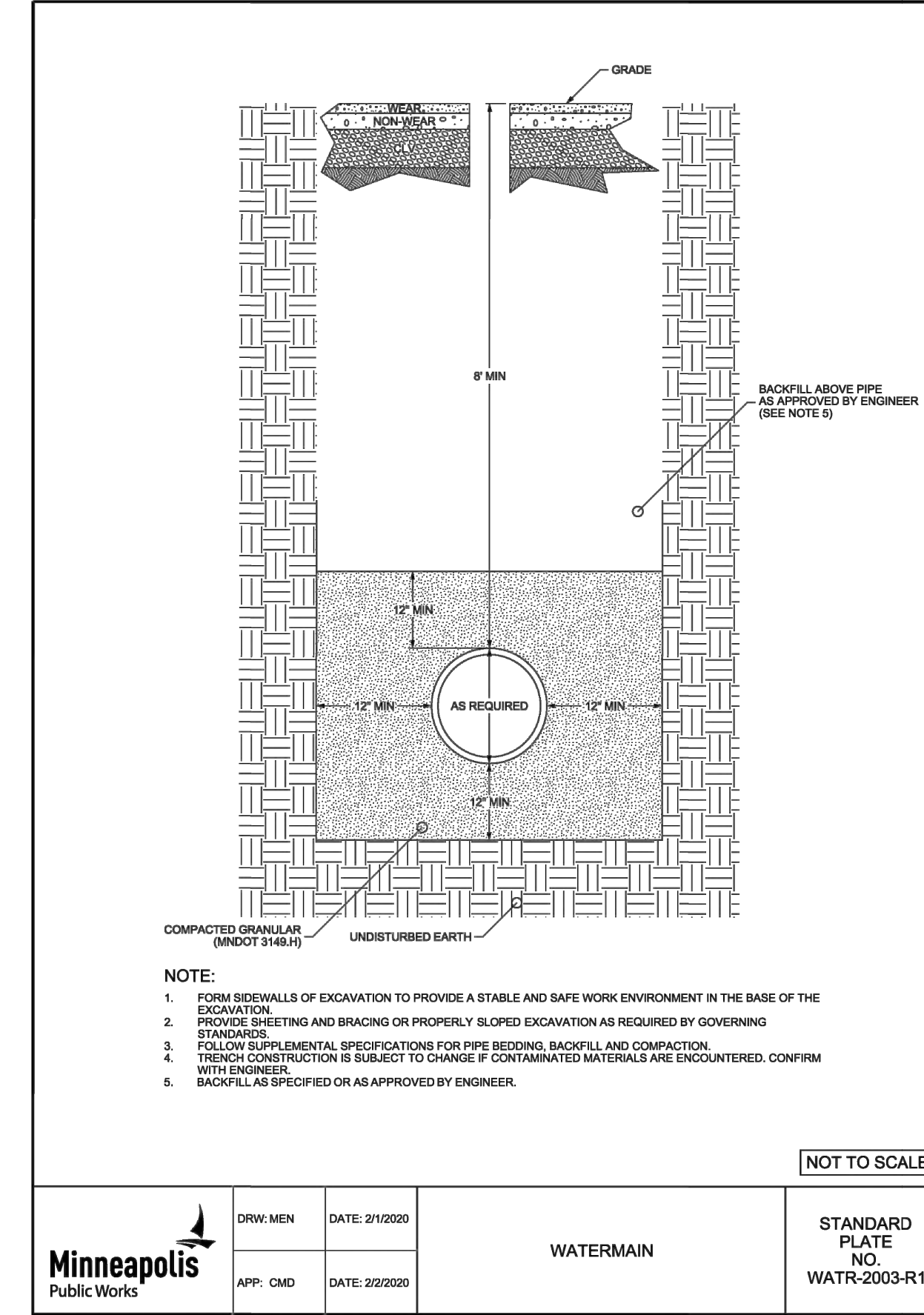
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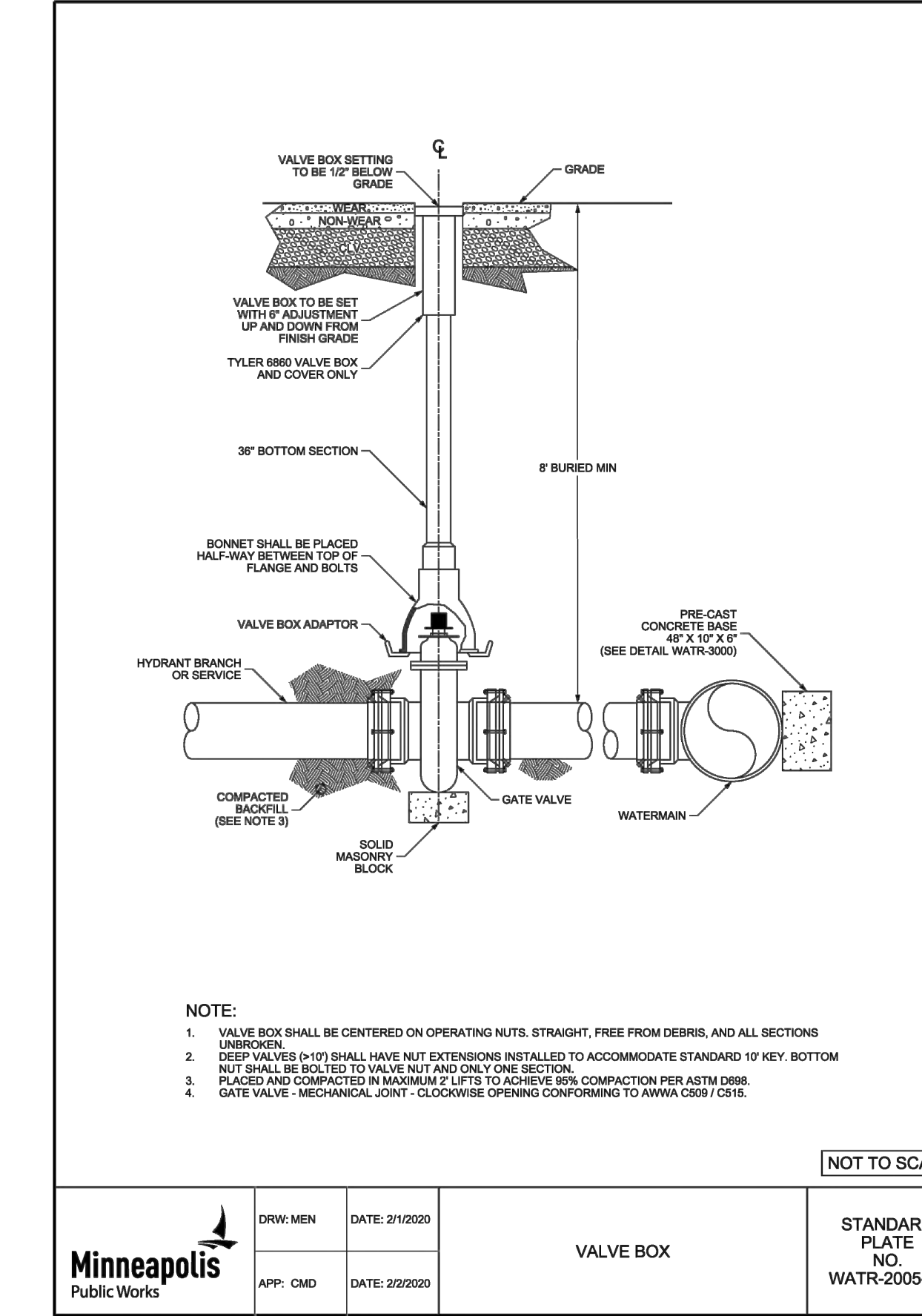
4 NOT TO SCALE



5 NOT TO SCALE



6 NOT TO SCALE



7 NOT TO SCALE

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1080 MONTREAL AVENUE ST PAUL, MN 55116

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PROJECT NAME: WHITTIER COMMUNITY HOUSING

2609 BLAISDELL AVE S MINNEAPOLIS, MN 55408

DRAWING TITLE: CITY DETAILS

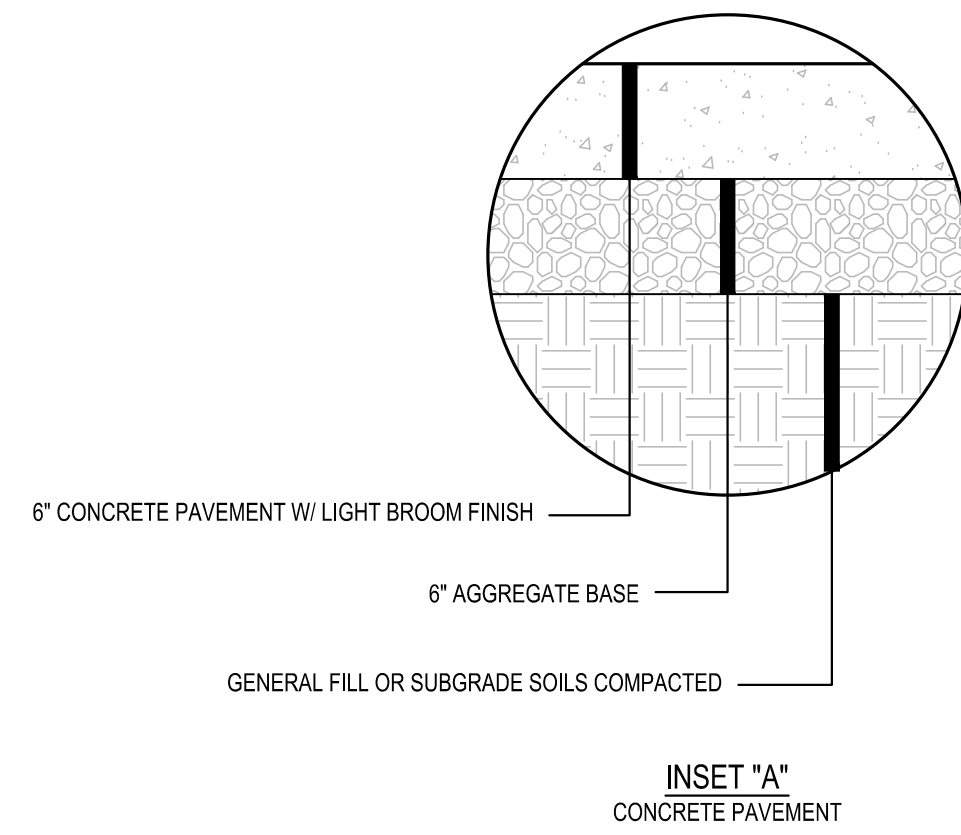
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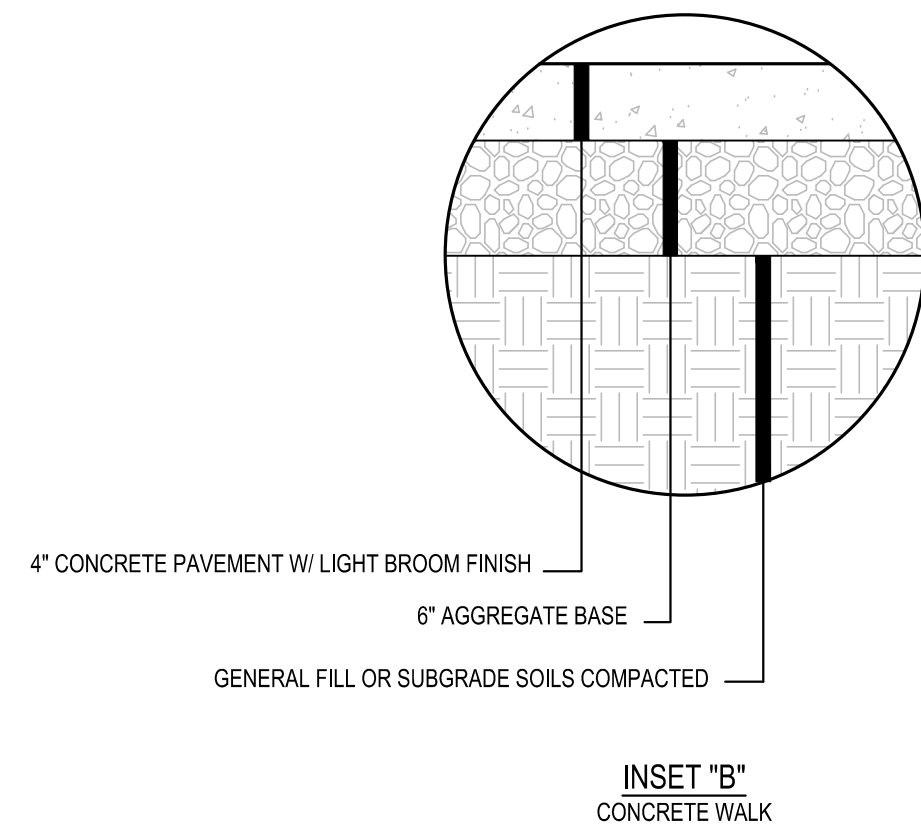
CHECKED BY: MMW

PRJ. NO.: 180586

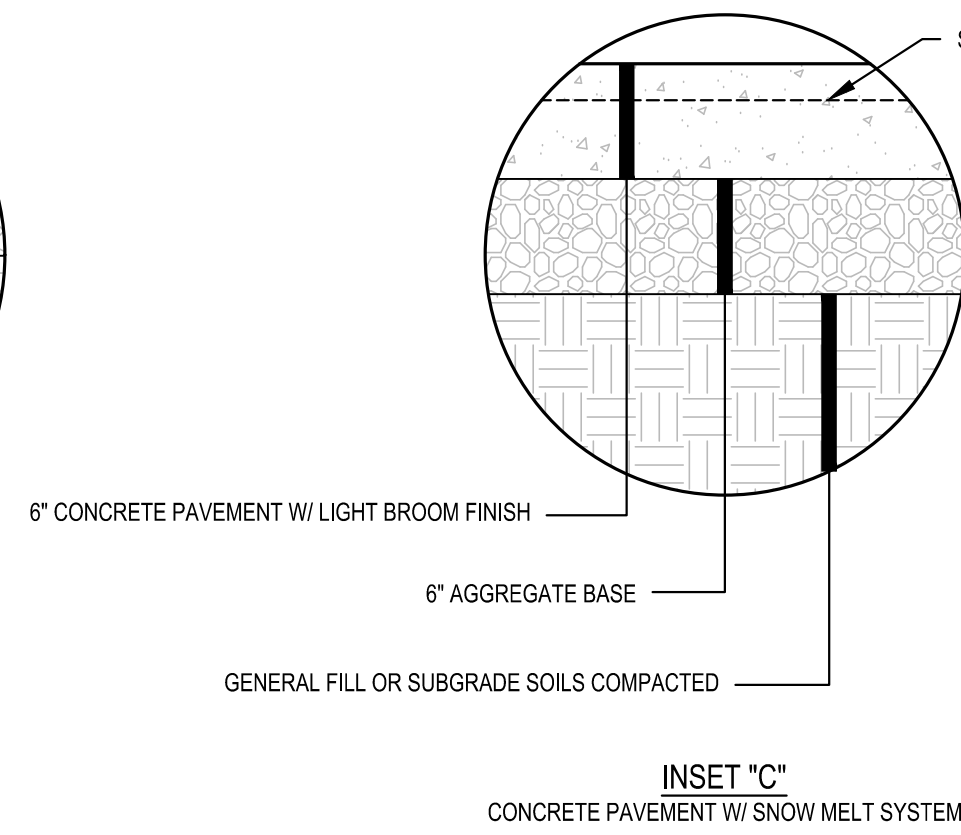
DRAWING NO.: **C502**



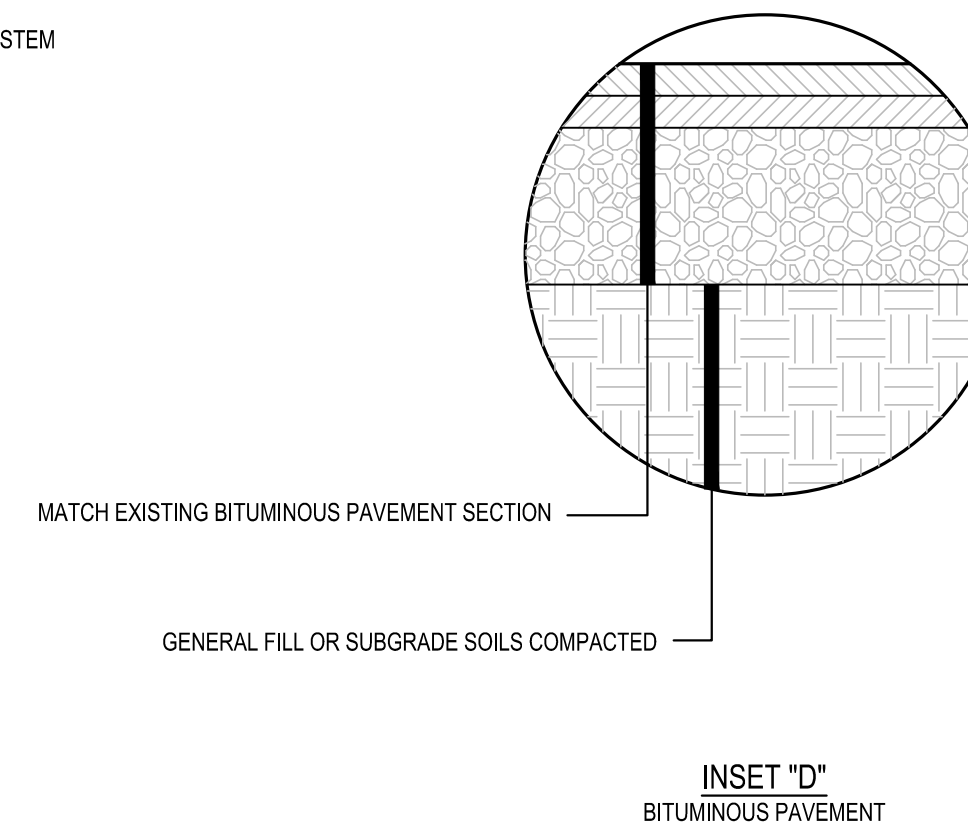
INSET "A"
CONCRETE PAVEMENT



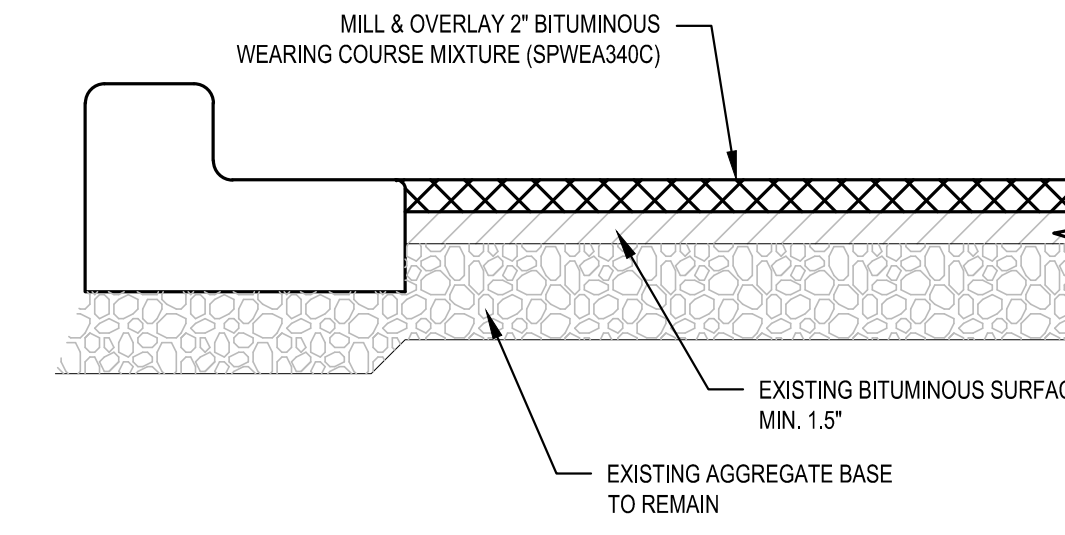
INSET "B"
CONCRETE WALK



INSET "C"
CONCRETE PAVEMENT W/ SNOW MELT SYSTEM

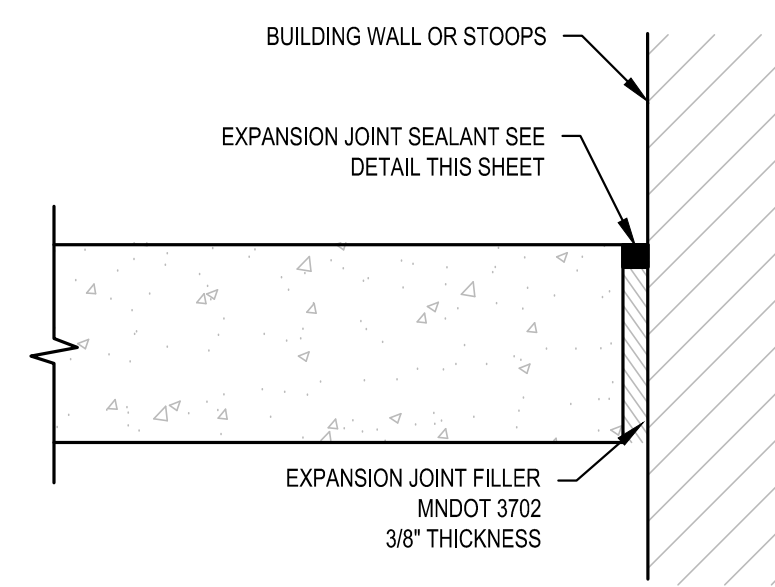


INSET "D"
BITUMINOUS PAVEMENT

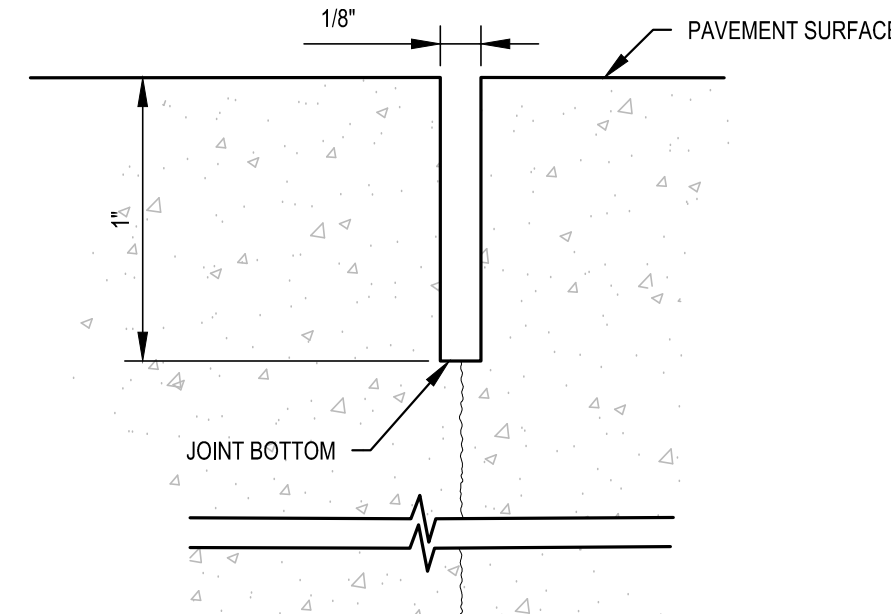


2 BITUMINOUS OVERLAY
NOT TO SCALE

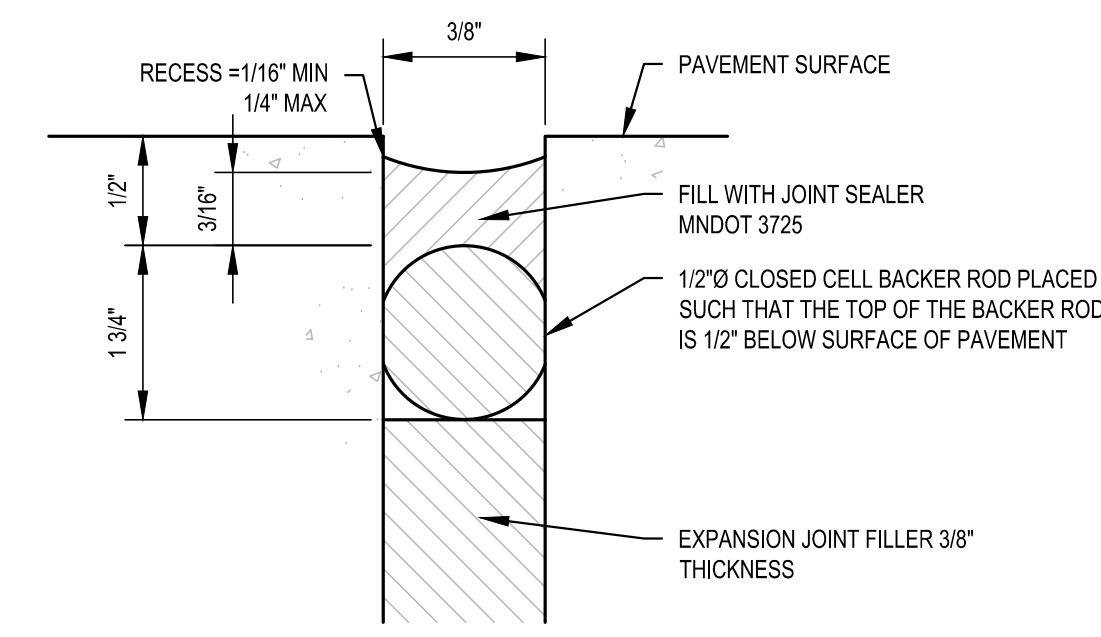
1 TYPICAL INSETS
NOT TO SCALE



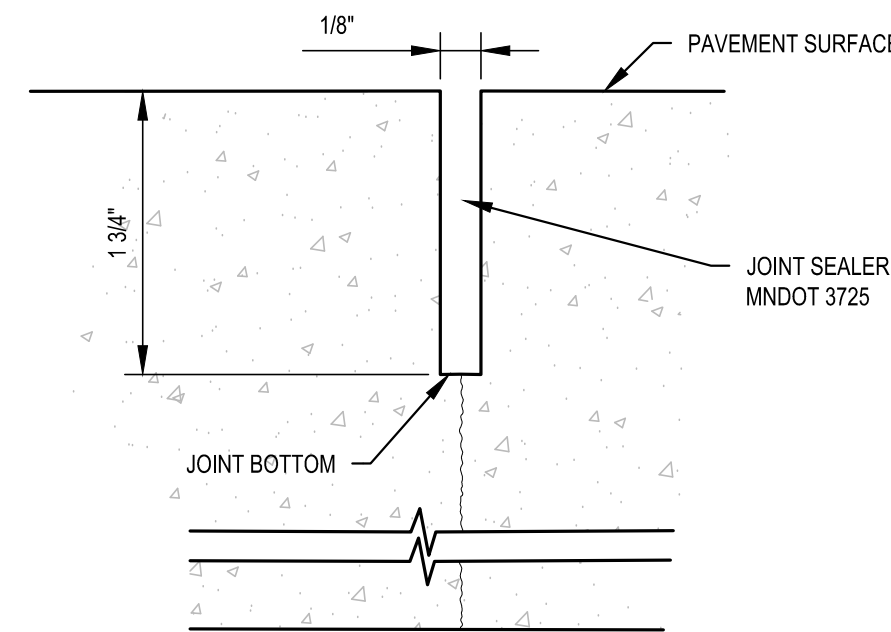
EXPANSION JOINT ADJACENT TO STRUCTURES



4" CONCRETE PAVEMENT CONTROL JOINT DETAIL
(SAWED)



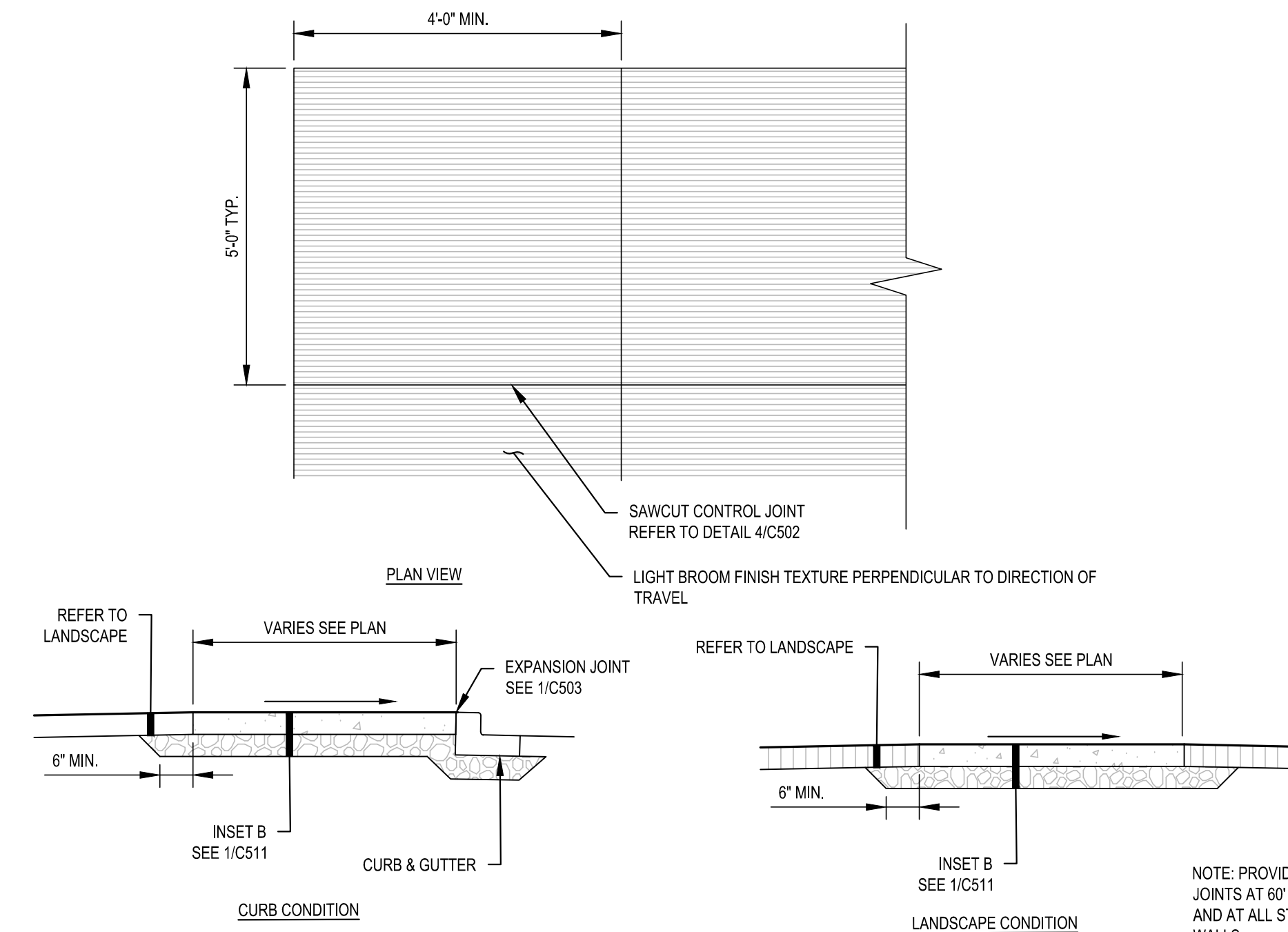
3/8" EXPANSION JOINT SEALANT DETAIL
(FORMED & SEALED)



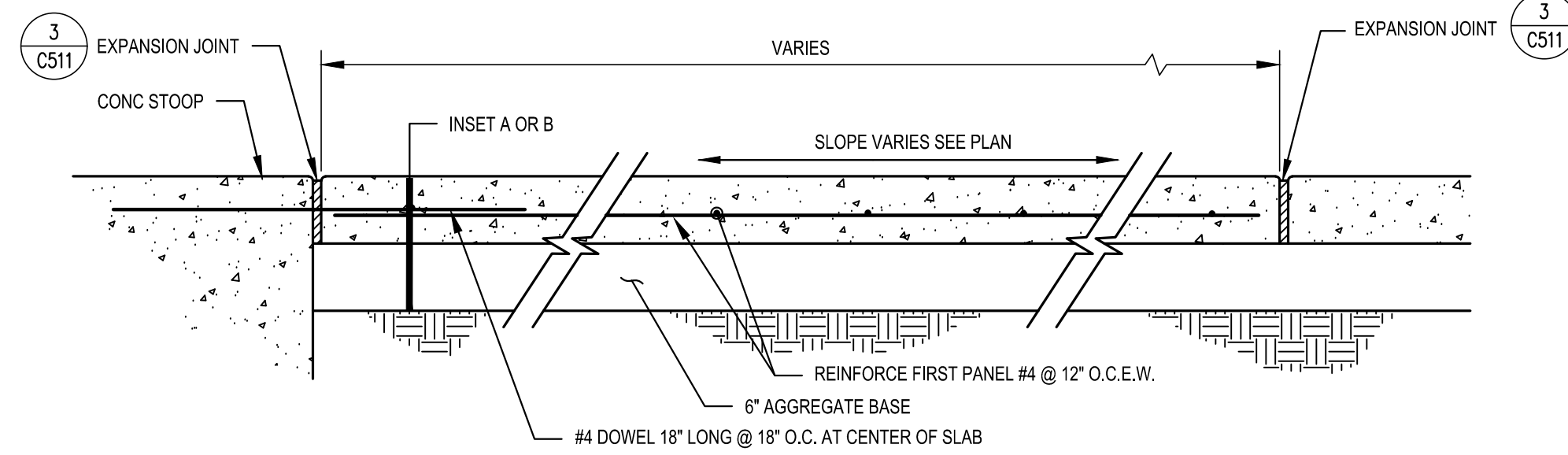
7" CONCRETE PAVEMENT CONTROL JOINT DETAIL
(SAWED & SEALED)

3 JOINT DETAILS
NOT TO SCALE

NOTE:
1. WHEN SEALING, THE JOINT SHALL BE CLEANED AND DRIED BY AIR BLASTING.

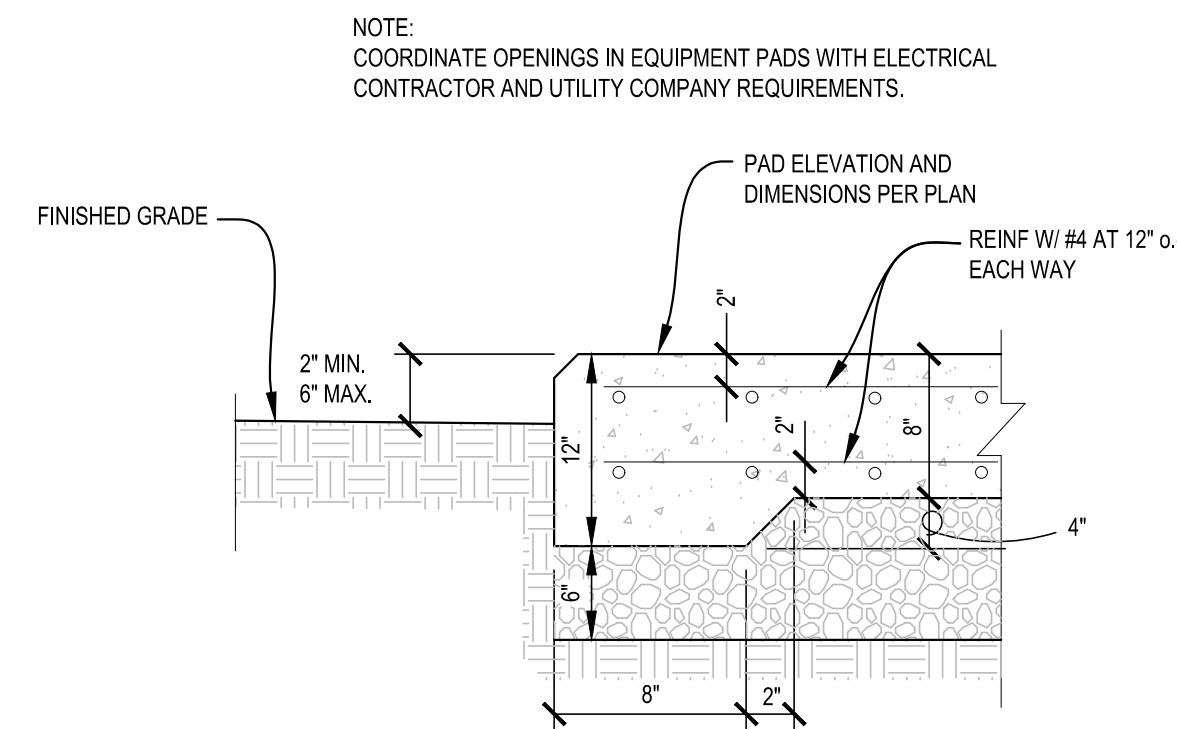


4 CONCRETE WALK
NOT TO SCALE



SECTION

5 TYPICAL CONCRETE WALK/PATIO AT STOOP
NOT TO SCALE



6 CONCRETE EQUIPMENT PAD
NOT TO SCALE

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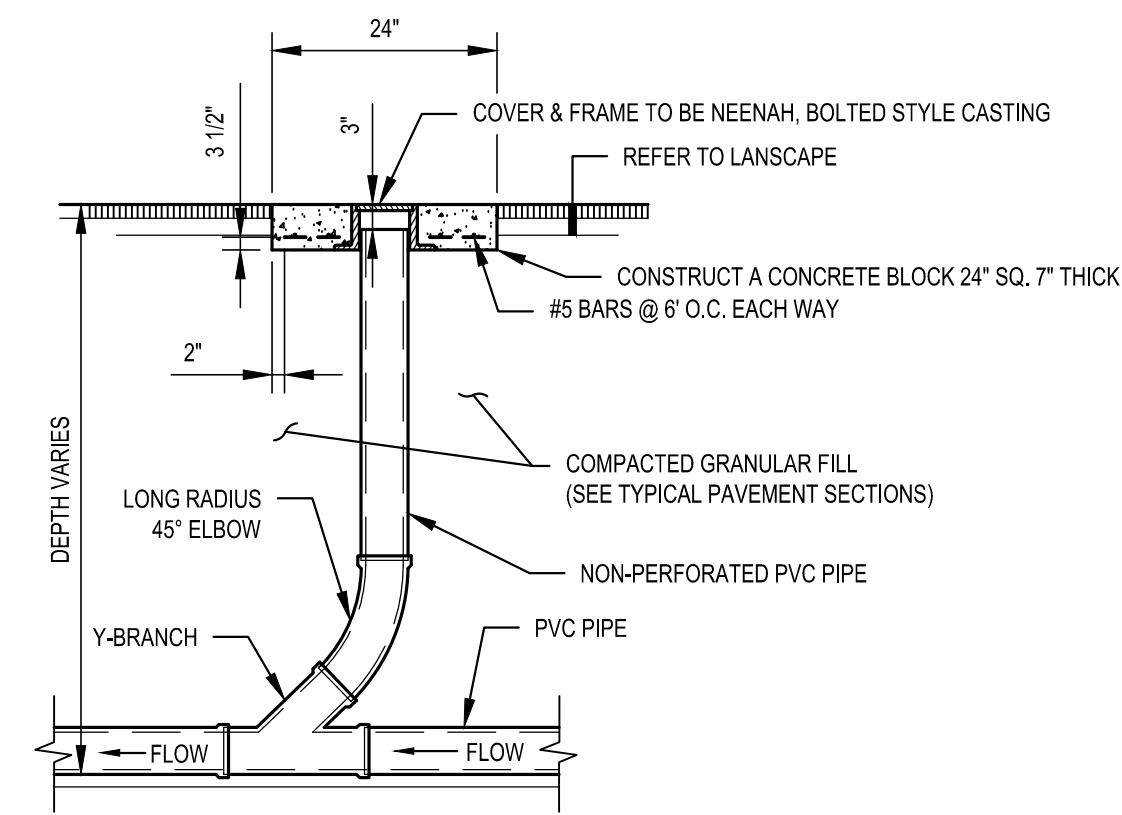
PROJECT NAME:
WHITTIER COMMUNITY HOUSING

2609 BLAISDELL AVE S
MINNEAPOLIS, MN 55408

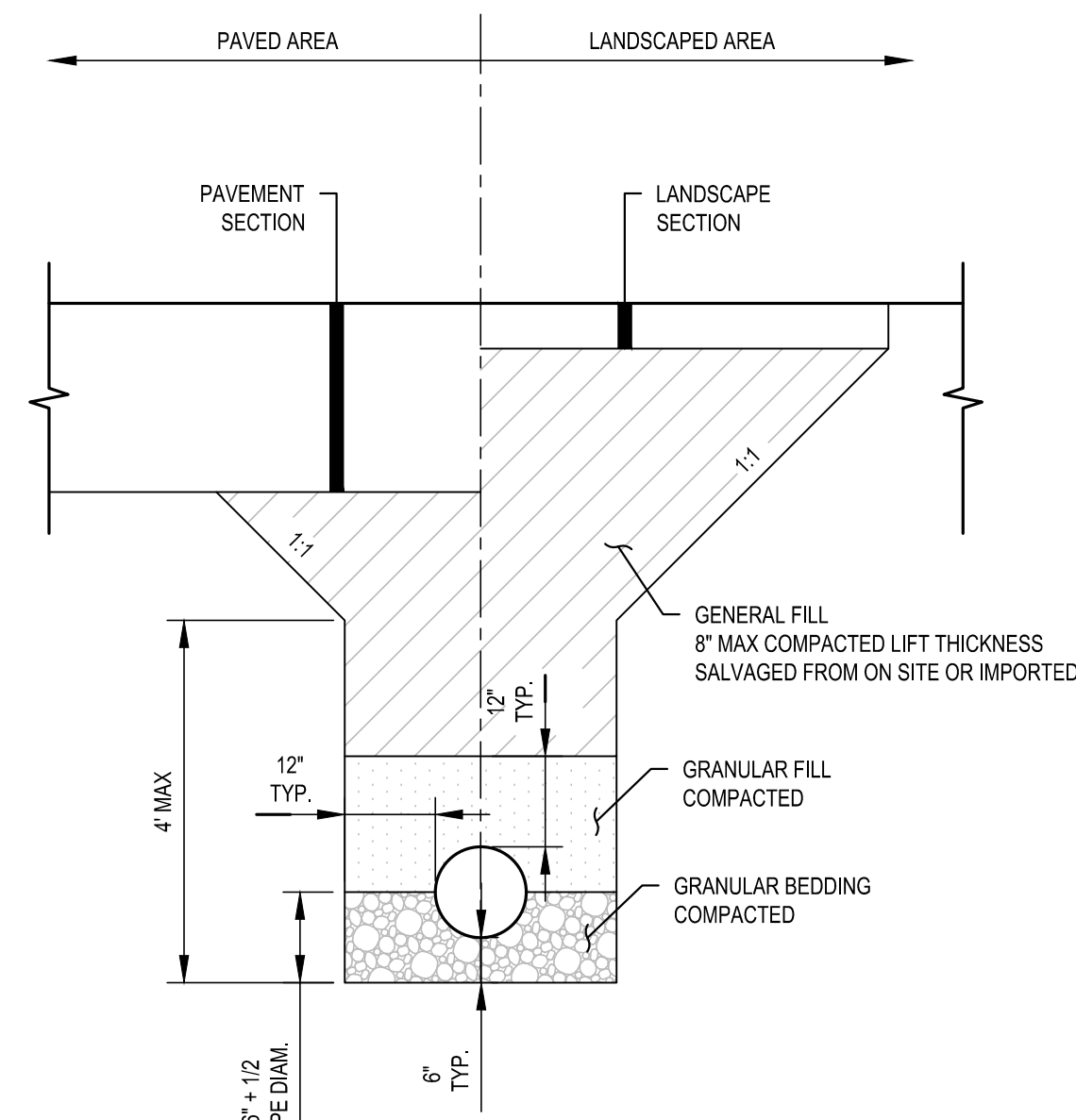
DRAWING TITLE:
CIVIL DETAILS

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DRAWN BY: MJJ
CHECKED BY: MMW
PRJ. NO.: 180586
DRAWING NO.:

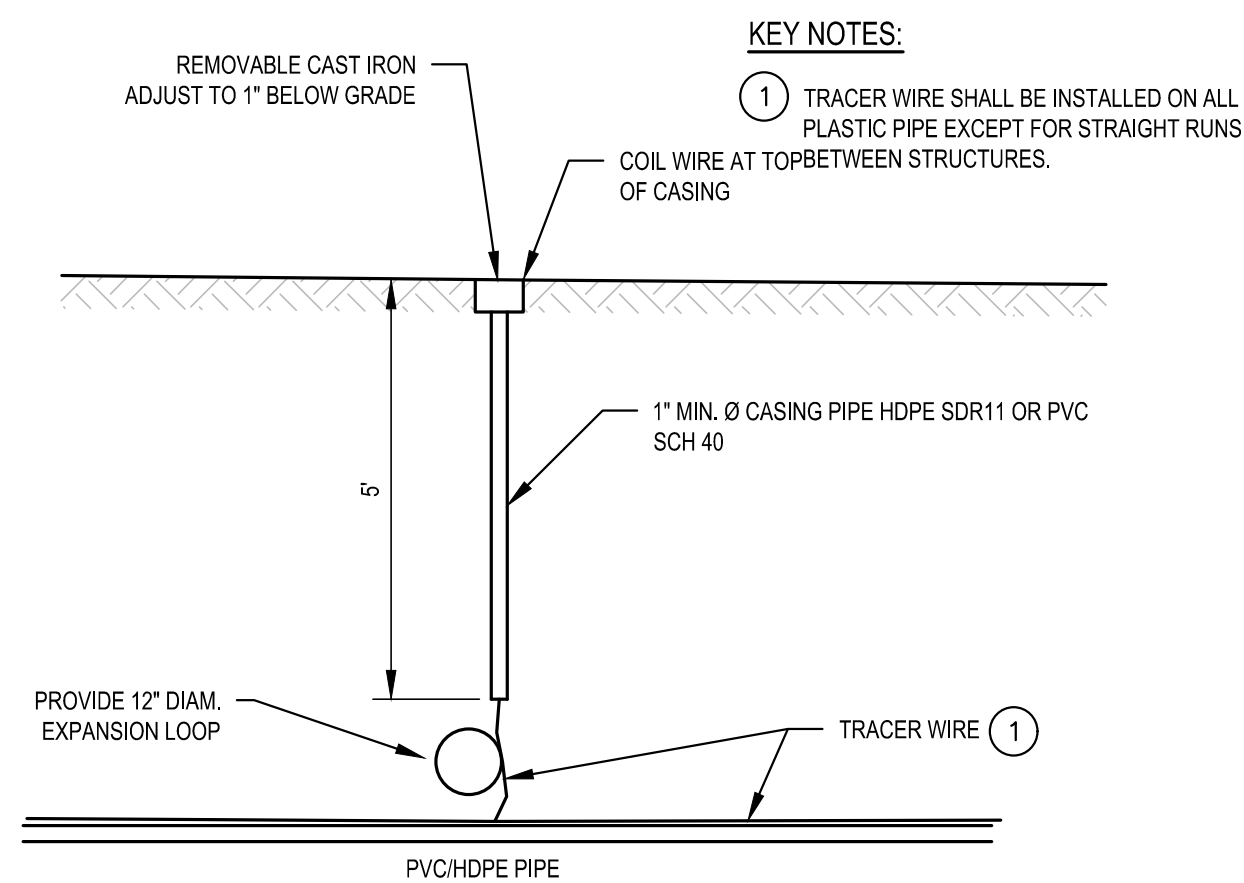
C511



1 CLEANOUT
NOT TO SCALE

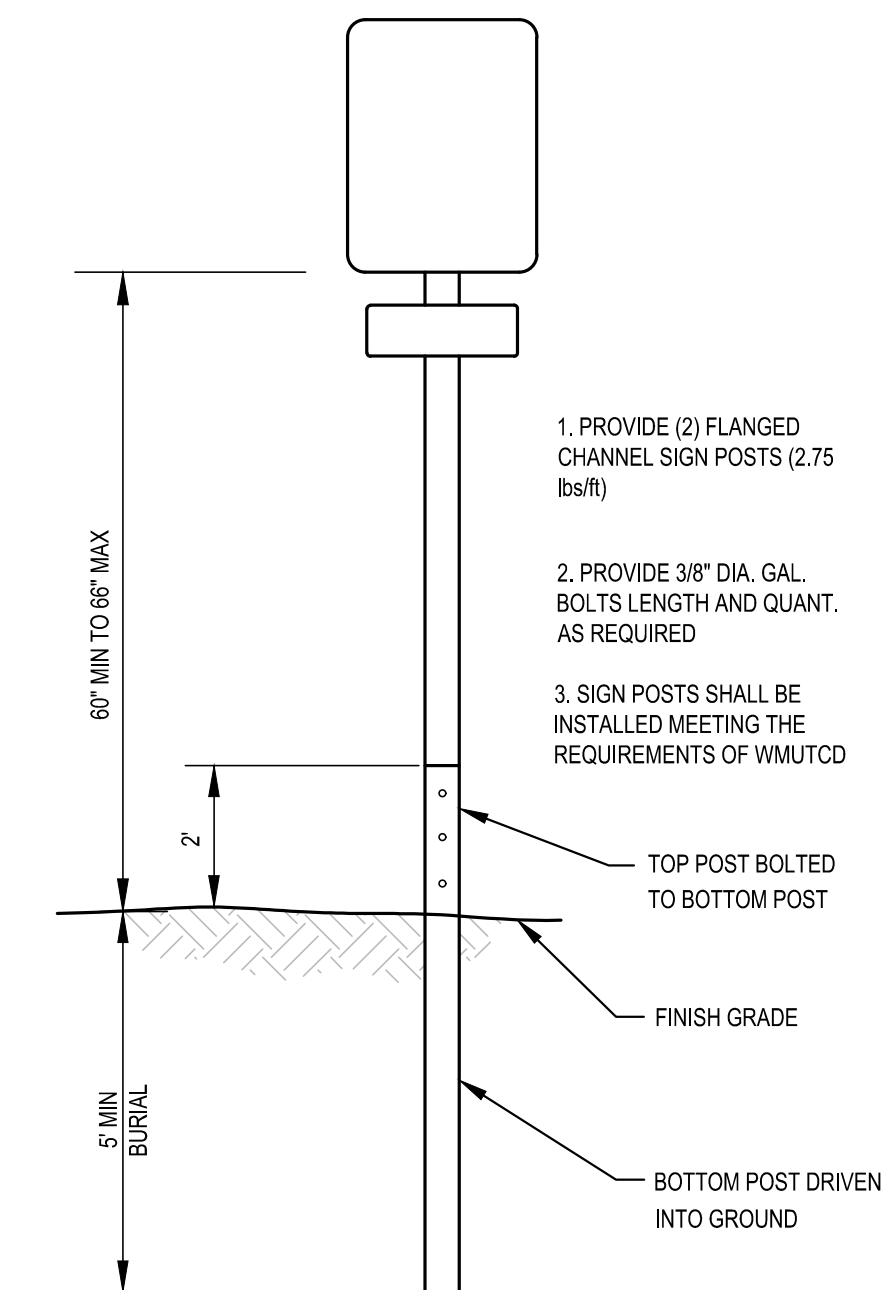


2 TYPICAL UTILITY TRENCH SECTION
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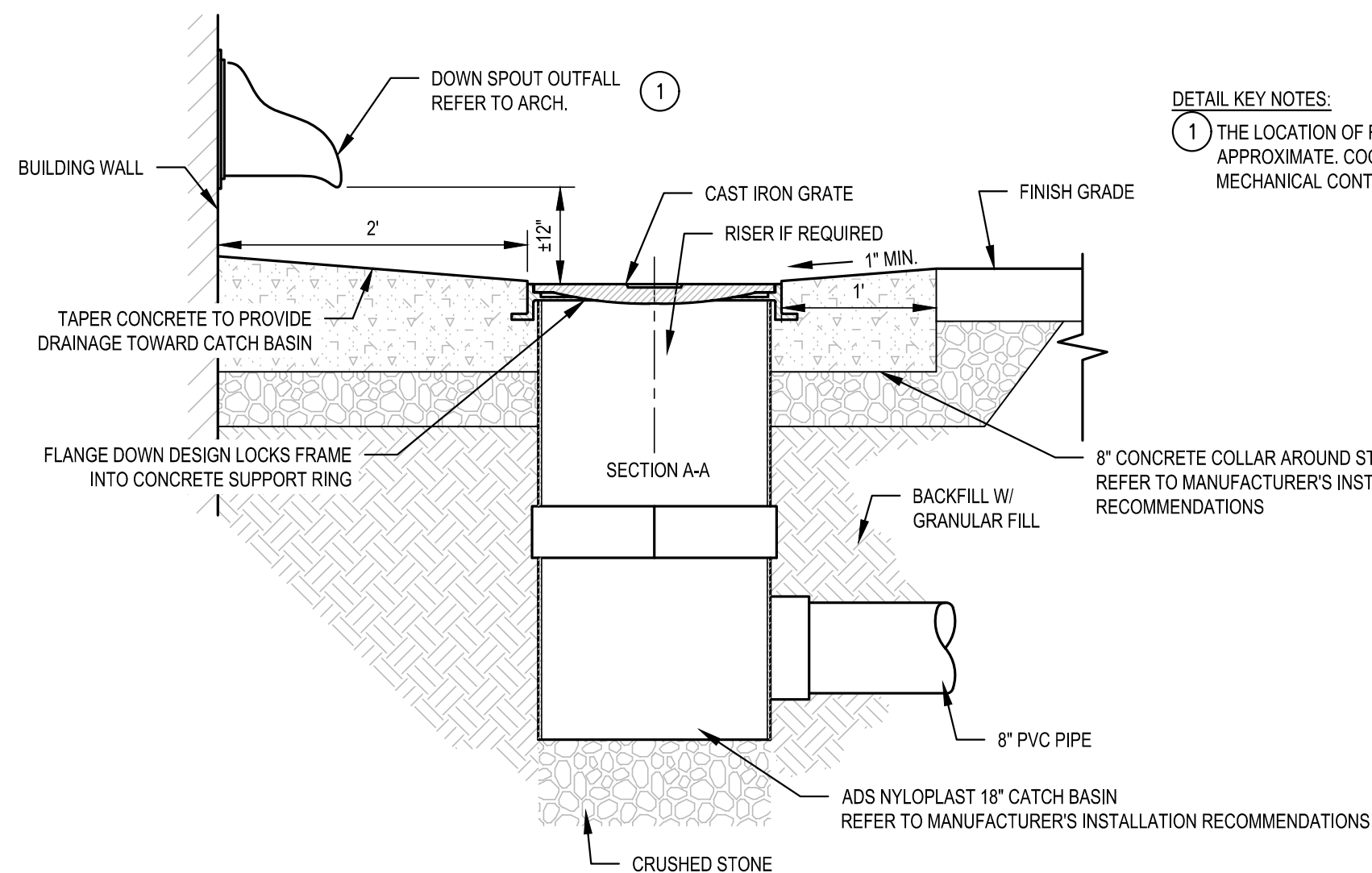


3 TRACER WIRE
NOT TO SCALE

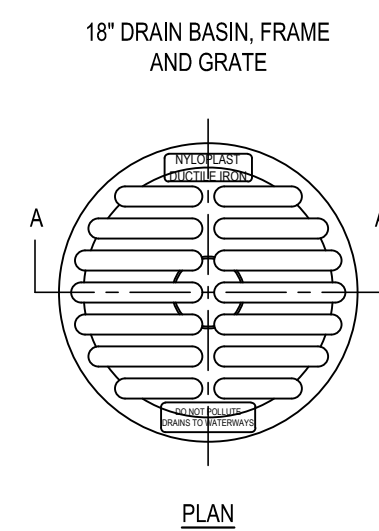
| SIGN SCHEDULE | | |
|---------------|---|---------|
| MUTCD CODE | TEXT | SIZE |
| R7-8A | HANDICAPPED PARKING VEHICLE ID REQUIRED | 12"x18" |
| NA | ACCESS AISLE | 12"x18" |



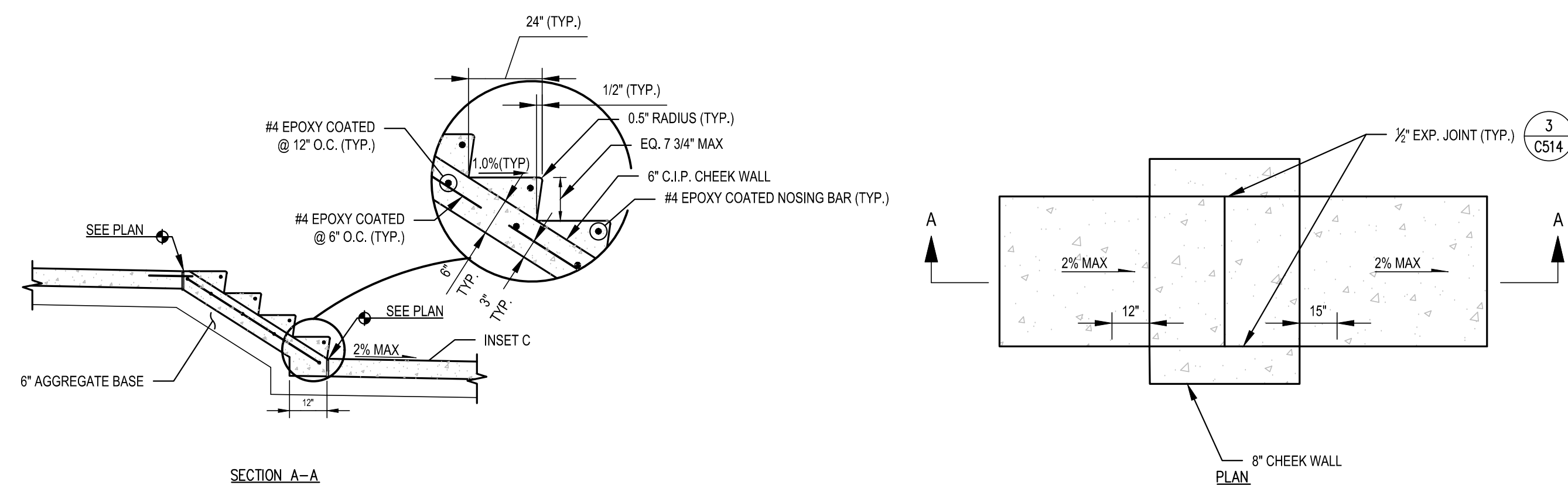
4 SIGNAGE
NOT TO SCALE



5 ROOF DRAIN CATCH BASIN
NOT TO SCALE



7 TRENCH DRAIN
NOT TO SCALE



6 STAIR DETAIL
NOT TO SCALE

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DRAWING TITLE:
CIVIL DETAILS

FILE: ..180586600 Drawings\C180586 C511 Civil Details.dwg
DRAWN BY: MJJ
CHECKED BY: MMW
PRJ. NO: 180586
DRAWING NO:

C512

LANDSCAPE NOTES

GENERAL LANDSCAPE NOTES:

- THIS DRAWING DOES NOT CONSTITUTE AN OFFICIAL SURVEY OF THE SITE. CONFIRM ALL LOCATIONS OF SURFACE AND SUB-SURFACE FEATURES BEFORE BEGINNING INSTALLATION. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONFIRM ALL QUANTITIES, SHAPES AND LOCATIONS OF BEDS, AND ADJUST AS REQUIRED TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT.
- LOCATE ALL UTILITIES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH PLANT INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOD/TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HEeled IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST. ADVISE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

PROTECTIONS

- THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE PROJECT SITE SHALL BE KEPT CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
- PROVIDE SILT FENCE IF NECESSARY TO PROTECT STREET FROM EROSION.
- SOD ALL AREAS DISTURBED BY CONSTRUCTION. TYP. CERTIFIED TURFGRASS SOD QUALITY; 80% KENTUCKY BLUE GRASS, 20% PERENNIAL RYE; WITH STRONG FIBROUS ROOT SYSTEM. FREE OF STONES, BURNED OR BARE SPOTS; CONTAINING NO MORE THAN 5 WEEDS PER 1000 SQ. FT. MINIMUM AGE OF 18 MONTHS, WITH ROOT DEVELOPMENT THAT WILL SUPPORT ITS OWN WEIGHT WITHOUT TEARING WHEN SUSPENDED VERTICALLY BY HOLDING THE UPPER TWO CORNERS.

PLANT MATERIAL

- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1-NOVEMBER 1 OF FOLLOWING YEAR), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.

CONCRETE

- WALK AND BENCH PADS WILL BE 4" THICK EXPOSED AGGREGATE CONCRETE SET ON 4" COMPACTED CLASS 5 AGGREGATE BASE. CONTROL JOINTS SHALL BE SAW CUT AND LAID OUT AS SPECIFIED IN PLANS.
- EXPANSION JOINT FILLER: FLEXIBLE, COMPRESSIBLE, CLOSED CELL POLYETHYLENE FOAM.
- EXPANSION JOINT SEALANT: SILICONE JOINT SEALANT DOW CORNING #888, COLOR, GRAY.
- ALL CONCRETE SHALL BE EXPOSED AGGREGATE:
 - 8 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - PORTLAND CEMENT TYPE: LAFARGE
 - MAX. COARSE AGGREGATE SIZE: 3/4" #7
 - MAX. SLUMP: 4"
 - AIR CONTENT: 6% +/- 1%
 - SURFACE RETARDER: TYPE S

OTHER MATERIAL

- PROVIDE SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 2" DEPTH FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED. APPLY PELLET WEED PREVENTER UNDER MULCH BEDS IN SHRUB AREAS.

SOILS AND GROUND

- SOIL CORRECTION FOR TREES, SHRUBS AND TURF: DISC SOIL TO A FULL 5" DEPTH IN ALL AREAS TO BE PLANTED TO LOOSEN COMPACTED SOILS. IDENTIFY AND PROTECT ROOTS OF EXISTING TREES.
- THE INTENT IS TO USE EXISTING TOPSOIL FOR ALL PLANTING SOIL IN TREE, SHRUB AND PERENNIAL AREAS. IF THE EXISTING TOPSOIL DOES NOT MEET REQUIREMENTS FOR PLANTING, IMPORTED PLANTING SOIL SHOULD BE USED THAT MEETS TESTING AGENCY'S REQUIREMENTS AND AT A MINIMUM SHOULD BE COMPOSED OF:
 - A UNIFORM MIXTURE OF 1 PART SAND, 1 PART RE-PEAT, AND 1 PART TOPSOIL BY VOLUME.

MAINTENANCE AND CARE

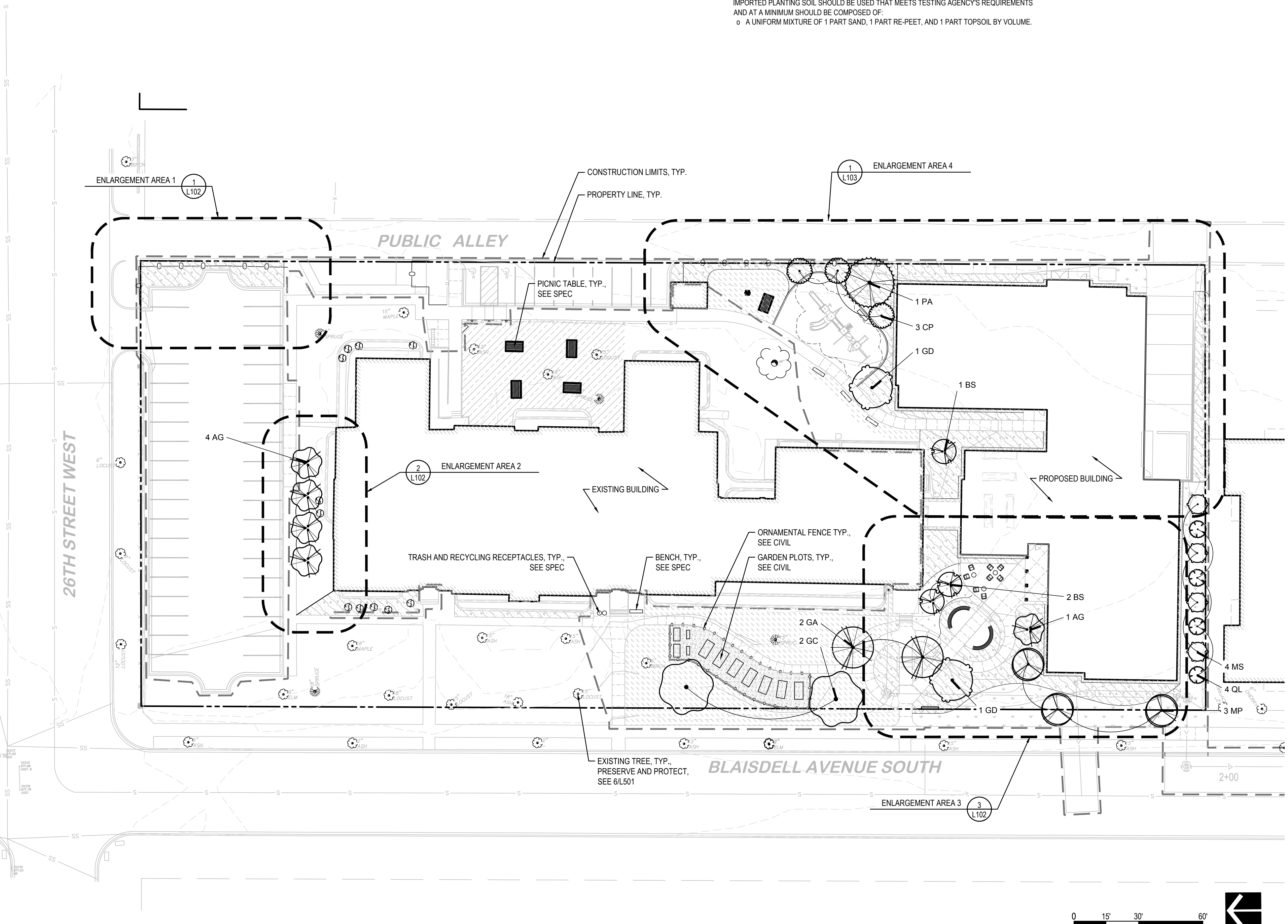
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF PLANTINGS IS COMPLETE. INSPECTION HAS BEEN MADE AND PLANTING IS ACCEPTED EXCLUSIVE OF THE GUARANTEE.
- MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

BID ALTERNATES

- PROVIDE SEPARATE, PER UNIT COSTS FOR THE FOLLOWING BID ADD ALTERNATES:

PLANT SCHEDULE

| CONIFER | CODE | QTY | BOTANICAL / COMMON NAME | CONT |
|-----------------|------|----------|---|----------|
| | PA | 1 | Picea abies Norway Spruce | #10 CONT |
| DECIDUOUS | CODE | QTY | BOTANICAL / COMMON NAME | CONT |
| | BS | 3 | Betula nigra 'Shiloh Splash' Shiloh Splash Birch | 8' CLUMP |
| | CP | 3 | Celtis occidentalis 'JFS-KSU1' TM Prairie Sentinel Common Hackberry | 2" B&B |
| | GA | 2 | Ginkgo biloba 'Autumn Gold' TM Autumn Gold Maidenhair Tree | 2" B&B |
| | GD | 2 | Gleditsia triacanthos inermis 'Draves' TM Street Keeper Honey Locust | 2" B&B |
| | GC | 2 | Gymnocladus dioica 'UMNSynergy' TM Kentucky True North | 2" B&B |
| | QL | 4 | Quercus robur x alba 'JFS-KW2QX' TM Skinny Genes Oak | #10 CONT |
| ORNAMENTAL TREE | CODE | QTY | BOTANICAL / COMMON NAME | CONT |
| | AG | 5 | Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry | 8' CLUMP |
| | MS | 4 | Maackia amurensis 'Summertime' Summertime Maackia | 2" B&B |
| | MP | 3 | Malus x 'Purple Prince' Purple Prince Crabapple | #10 CONT |
| GROUND COVERS | CODE | QTY | BOTANICAL / COMMON NAME | CONT |
| | HM | 7,422 sf | Hardwood Mulch Refer to Spec | Mulch |
| | RM | 2,022 sf | Rock Mulch Refer to Detail Sheet L501 | Mulch |
| | TO | 3,443 sf | Turf Overseeding Refer to Spec | Seed |
| | TS | 5,949 sf | Turf Seed Refer to Spec | Seed |
| | TL | 3,911 sf | Turf Seed Low Grow Mix Refer to Spec | Seed |



1 LANDSCAPE PLAN
SCALE: 1"=30'

WARNING
LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR.
CALL BEFORE DIGGING
MINNESOTA
ONE-CALL SYSTEM
1-800-252-1166
REQUIRED BY
MN STATUTE 216D

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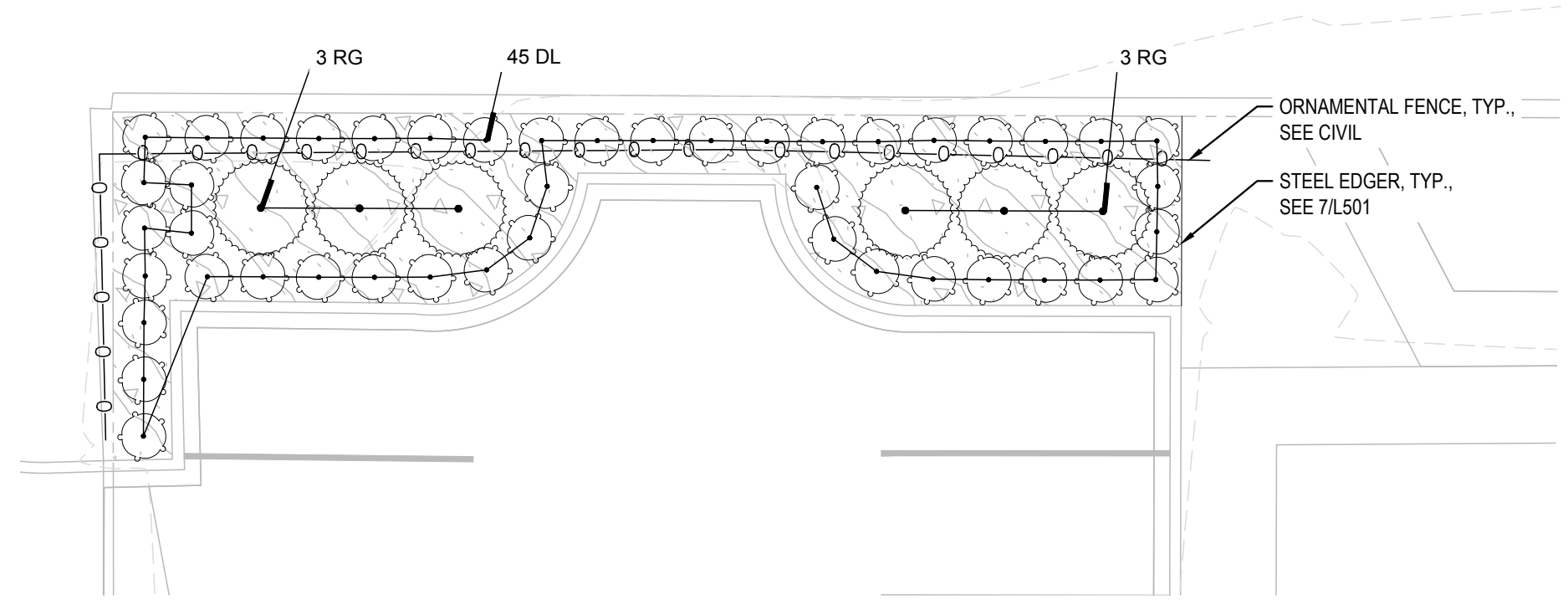
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| NO | DATE | REVISION |
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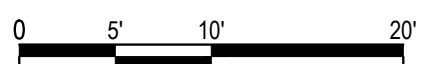
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PROJECT NAME:
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2609 BLAISDELL AVE S
MINNEAPOLIS, MN 55408
DRAWING TITLE:
LANDSCAPE PLAN & NOTES

FILE: ..1180586600 Drawings\LA\180586 L100 LA Plan.dwg
DRAWN BY: JHV
CHECKED BY: NLS
PROJ. NO: 180586
DRAWING NO:
L101

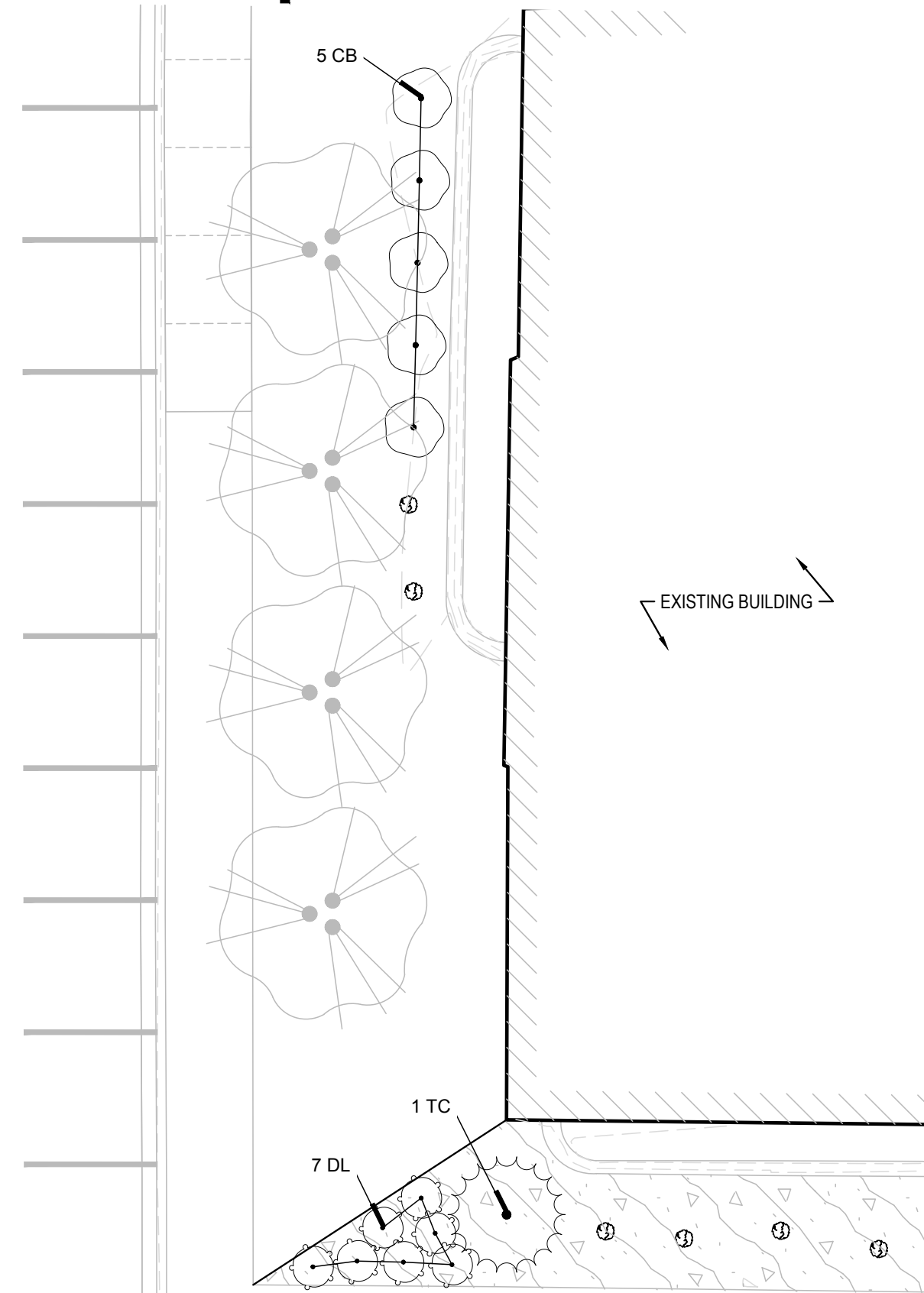


PLANT SCHEDULE ENLARGEMENT AREA 1

| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE |
|--------|------|-----|--|----------|
| | DL | 45 | Diervilla lonicera Dwarf Bush Honeysuckle | #2 CONT. |
| | RG | 6 | Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac | #2 CONT. |

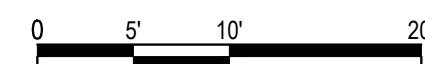


1 ENLARGEMENT AREA 1
SCALE: 1"=10'

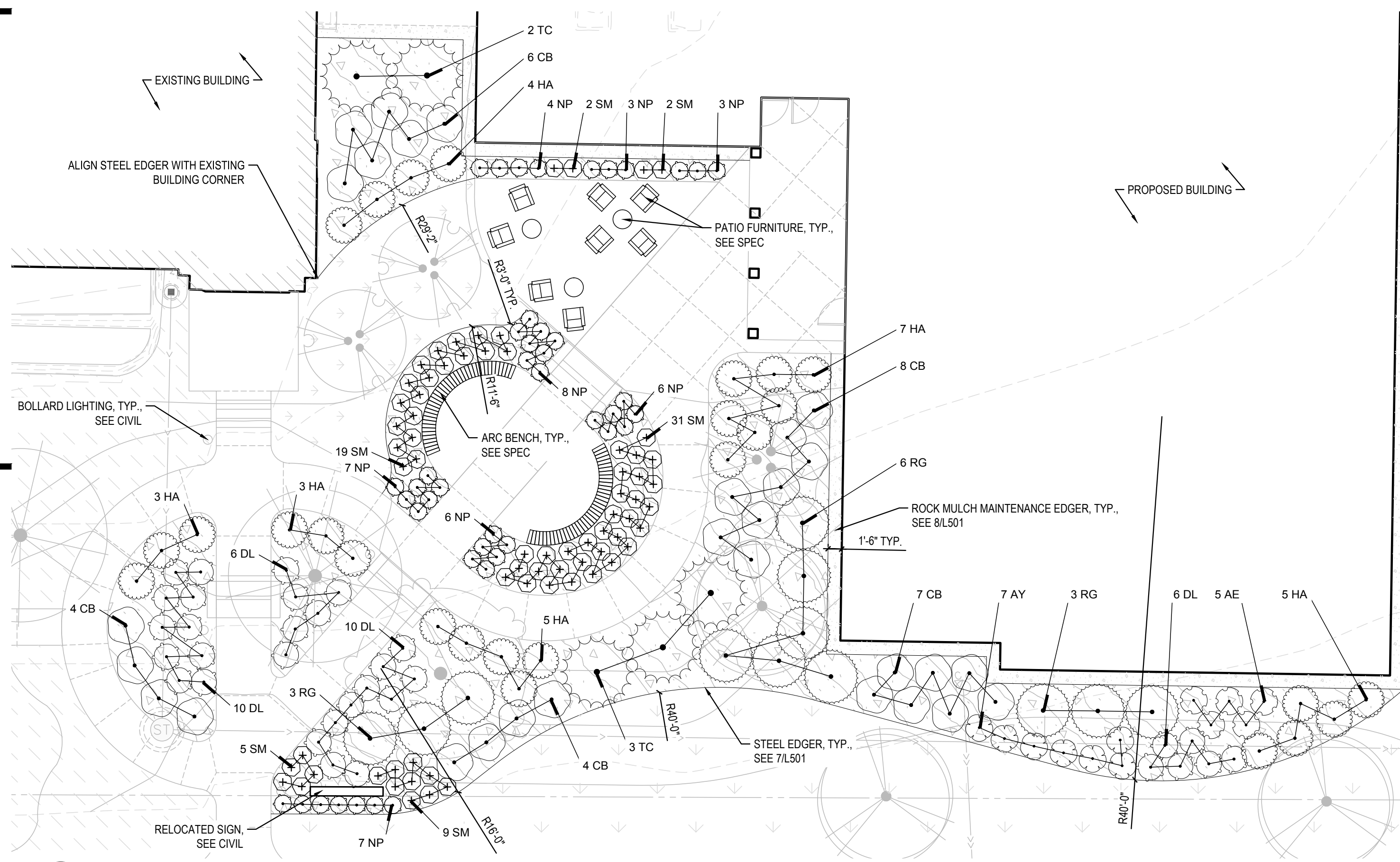


PLANT SCHEDULE ENLARGEMENT AREA 2

| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE |
|--------|------|-----|---|----------|
| | CB | 5 | Cornus sericea 'Bailadeline' TM Firedance Red Twig Dogwood | #5 CONT. |
| | DL | 7 | Diervilla lonicera Dwarf Bush Honeysuckle | #2 CONT. |
| | TC | 1 | Taxus cuspidata 'Monloo' TM Emerald Spreader Japanese Yew | #5 CONT. |

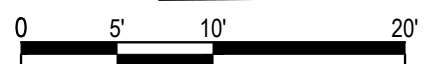


2 ENLARGEMENT AREA 2
SCALE: 1"=10'



PLANT SCHEDULE ENLARGEMENT AREA 3

| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE |
|------------|------|-----|--|----------|
| | AE | 5 | Aronia arbutifolia 'Erecta' Upright Red Chokeberry | #5 CONT. |
| | AY | 7 | Aronia melanocarpa 'UCONNA012' (PPAF) Ground Hog Chokeberry | #2 CONT. |
| | CB | 29 | Cornus sericea 'Bailadeline' TM Firedance Red Twig Dogwood | #5 CONT. |
| | DL | 32 | Diervilla lonicera Dwarf Bush Honeysuckle | #2 CONT. |
| | HA | 27 | Hydrangea arborescens 'Annabelle' Annabelle Hydrangea | #3 CONT. |
| | RG | 12 | Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac | #2 CONT. |
| | TC | 5 | Taxus cuspidata 'Monloo' TM Emerald Spreader Japanese Yew | #5 CONT. |
| GRASSES | CODE | QTY | BOTANICAL / COMMON NAME | SIZE |
| | SM | 68 | Schizachyrium scoparium 'MinnblueA' Blue Heaven Little Bluestem | #1 CONT. |
| PERENNIALS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE |
| | NP | 44 | Nepeta x faassenii 'Purrsian Blue' Purrsian Blue Catmint | #1 CONT. |



3 ENLARGEMENT AREA 3
SCALE: 1"=10'

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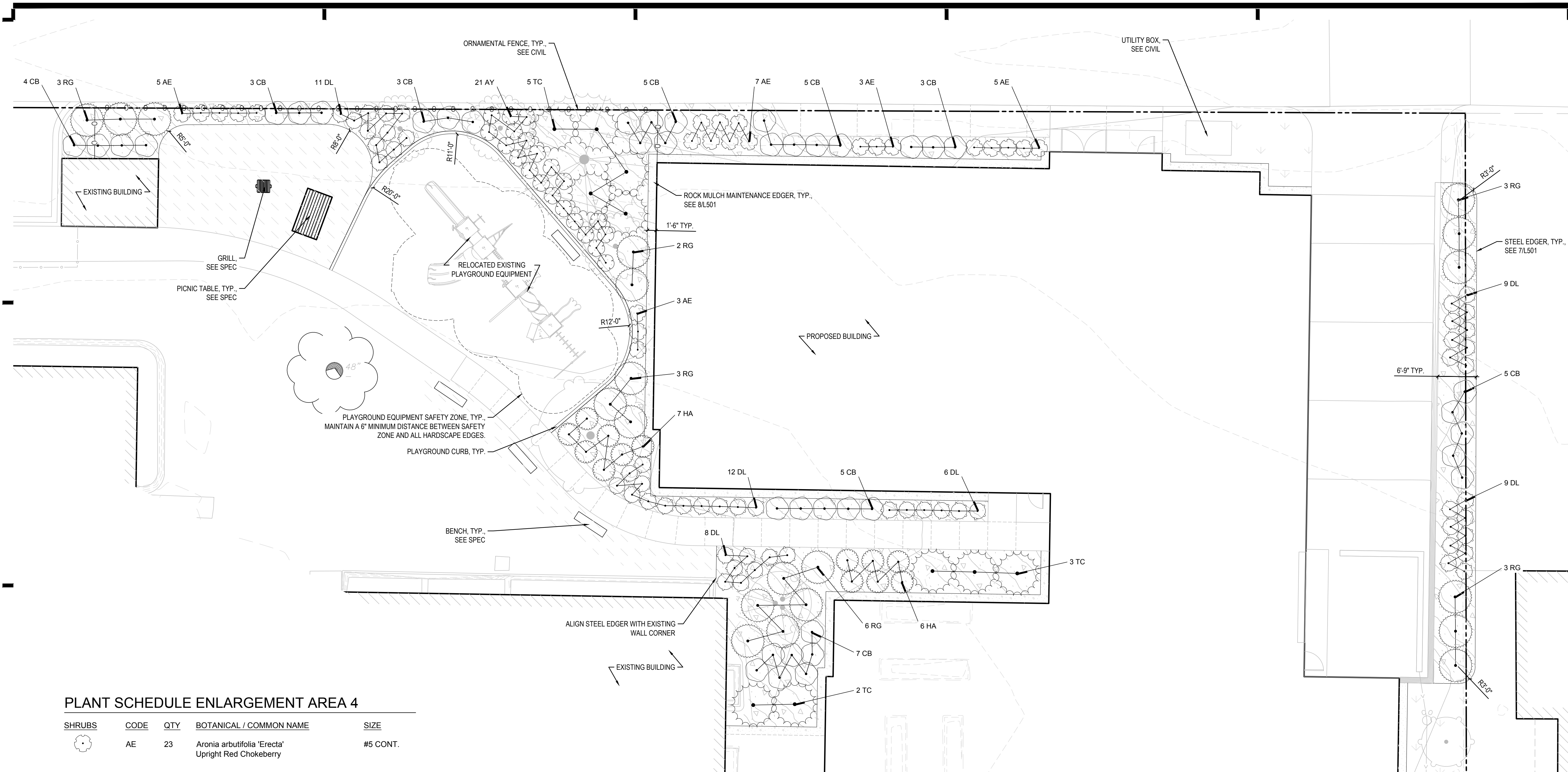
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MINNEAPOLIS, MN 55408

DRAWING TITLE:
LANDSCAPE PLAN ENLARGEMENT AREAS

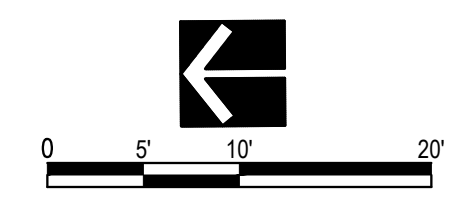
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DRAWN BY: JHV
CHECKED BY: NLS
PROJ. NO: 180586
DRAWING NO:



PLANT SCHEDULE ENLARGEMENT AREA 4

| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE |
|--------|------|-----|---|----------|
| | AE | 23 | <i>Aronia arbutifolia</i> 'Erecta' Upright Red Chokeberry | #5 CONT. |
| | AY | 21 | <i>Aronia melanocarpa</i> 'UCONNA012' (PPAF) Ground Hog Chokeberry | #2 CONT. |
| | CB | 40 | <i>Cornus sericea</i> 'Bailadeline' TM Firedance Red Twig Dogwood | #5 CONT. |
| | DL | 55 | <i>Diervilla lonicera</i> Dwarf Bush Honeysuckle | #2 CONT. |
| | HA | 13 | <i>Hydrangea arborescens</i> 'Annabelle' Annabelle Hydrangea | #3 CONT. |
| | RG | 20 | <i>Rhus aromatica</i> 'Gro-Low' Gro-Low Fragrant Sumac | #2 CONT. |
| | TC | 10 | <i>Taxus cuspidata</i> 'Monloo' TM Emerald Spreader Japanese Yew | #5 CONT. |

1 ENLARGEMENT AREA 4
SCALE: 1"=10'



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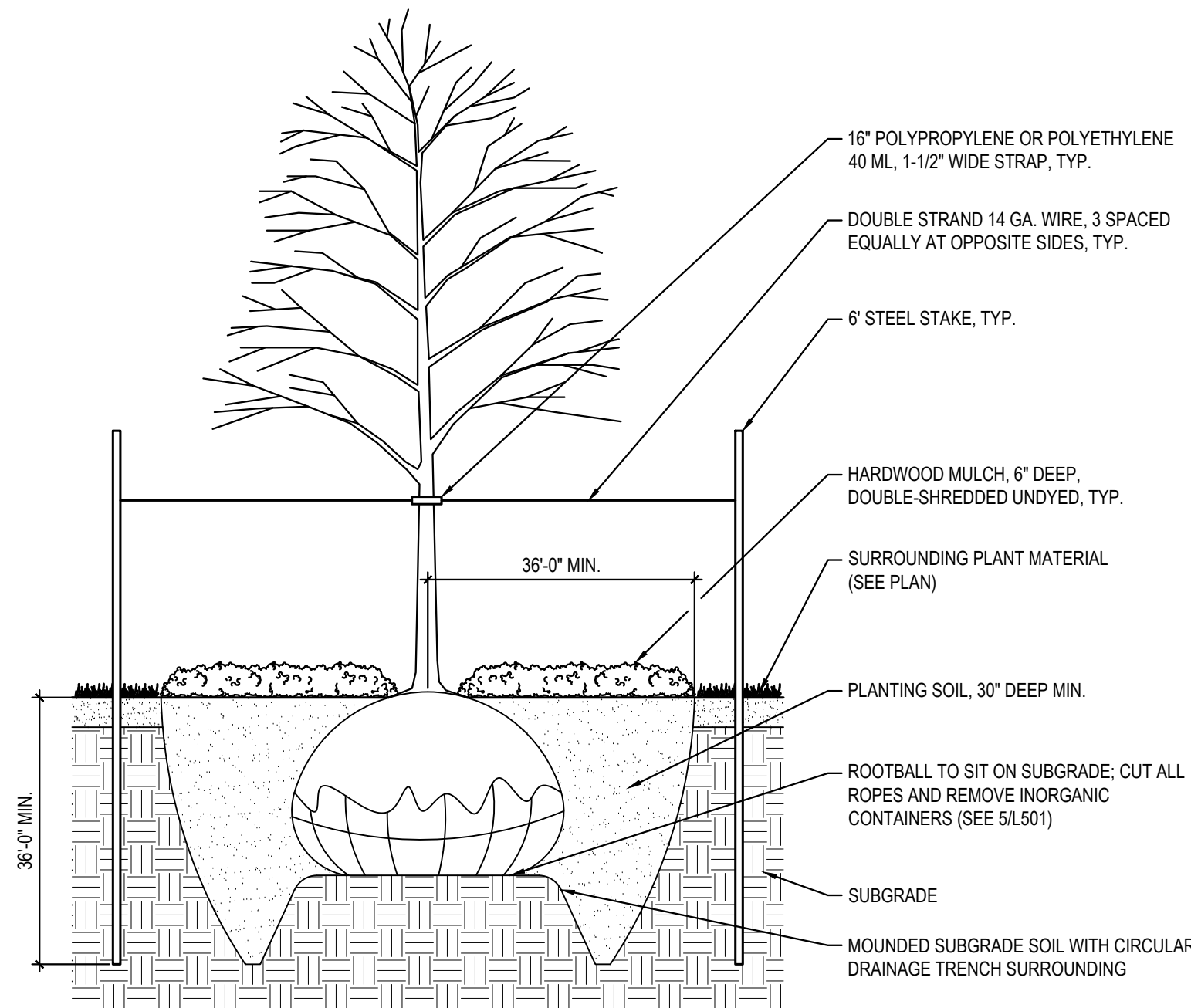
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**LANDSCAPE PLAN
ENLARGEMENT AREAS**

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CHECKED BY: NLS
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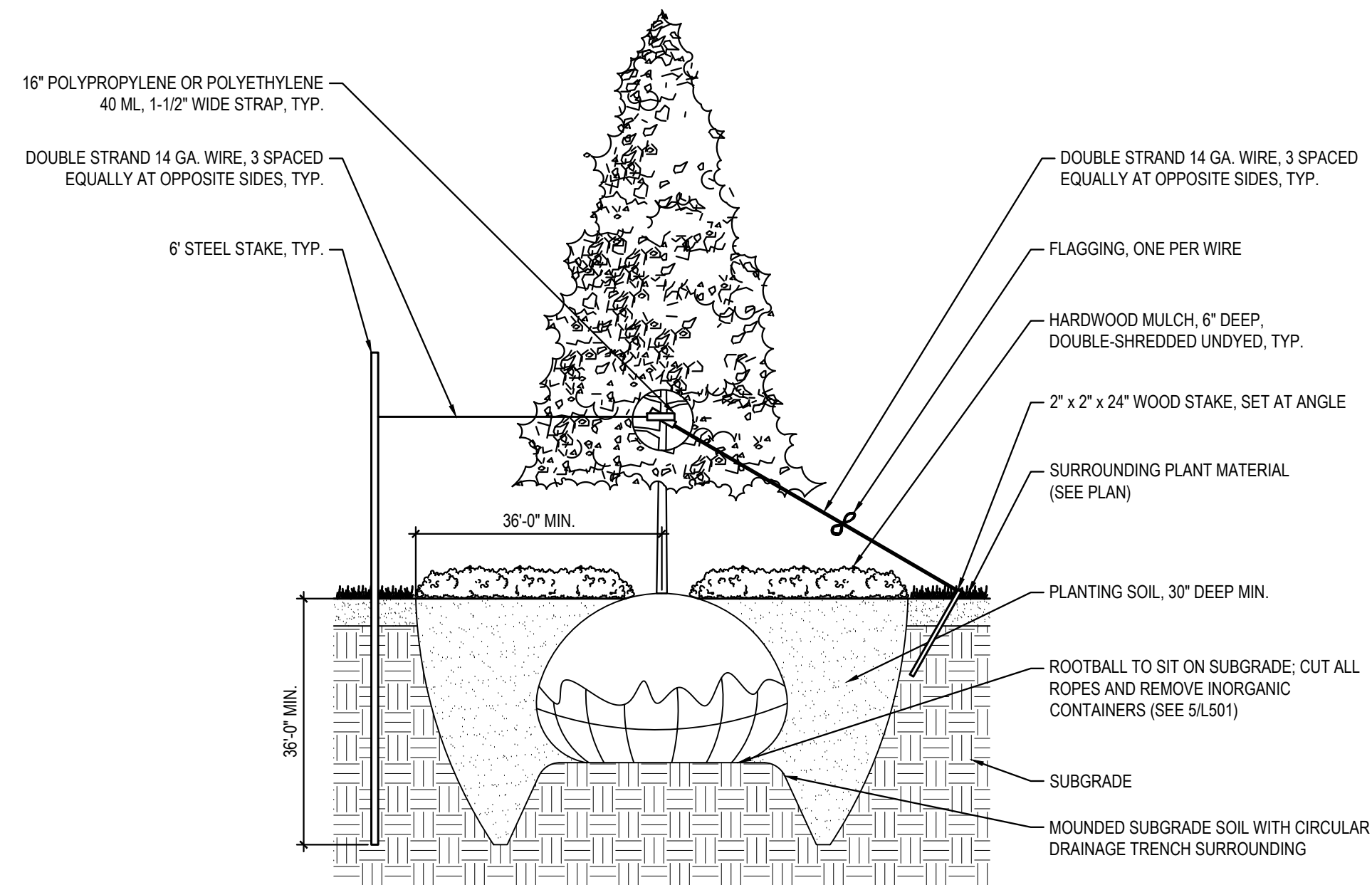
L103

- NOTES:
- IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
 - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 - DO NOT PLANT TOO DEEP; EXPOSE TOP OF ROOT FLARE 1" ABOVE FINAL GRADE AND PULL MULCH AWAY FROM TRUNK.



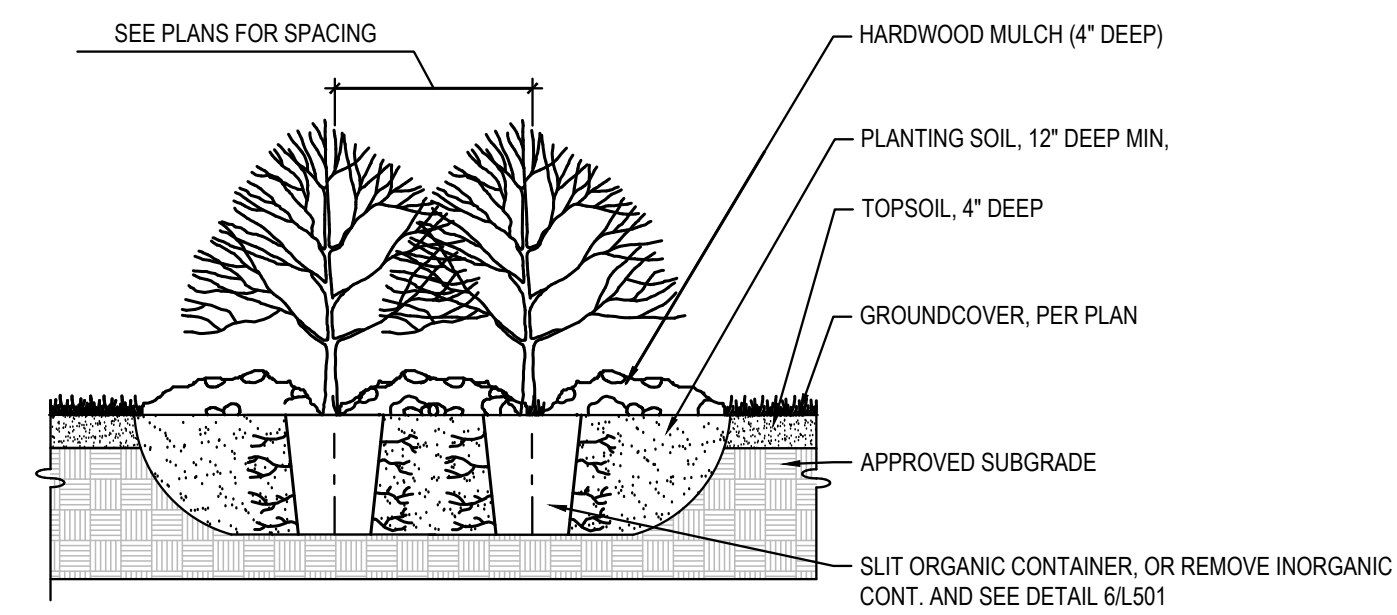
1 DECIDUOUS TREE
SCALE: 1" = 20"

- NOTES:
- CONIFER TO HAVE SHREDDED HARDWOOD MULCH UNLESS NOTED OTHERWISE. NO MULCH SHALL BE IN CONTACT WITH TRUNK.
 - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 - TWO ALTERNATE METHODS OF TREE STAKING ARE ILLUSTRATED.
 - IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
 - DO NOT PLANT TOO DEEP; EXPOSE TOP OF ROOT FLARE 1" ABOVE FINAL GRADE AND PULL MULCH AWAY FROM TRUNK.

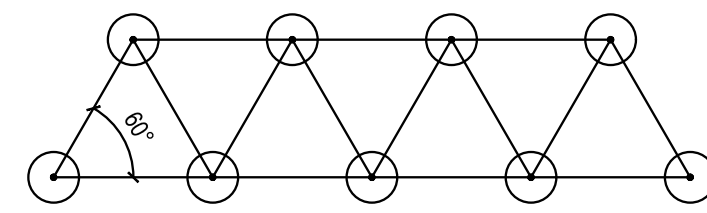


2 CONIFEROUS TREE
SCALE: 1" = 20"

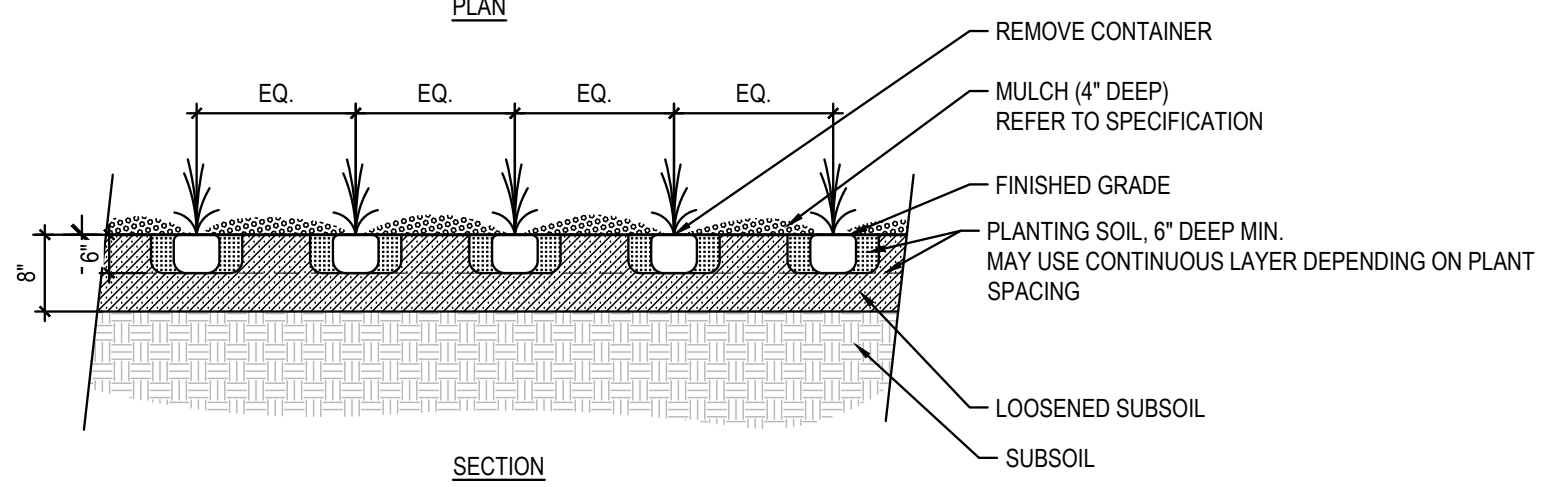
- NOTES:
- HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYPICAL).
 - HAND REMOVE EXCESS SOIL AT TOP OF ROOT BALL TO EXPOSE TOP OF ROOT FLARE. TYPICALLY REQUIRES THE REMOVAL OF 1-6" OF SOIL FROM CONTAINER OR B&B.
 - ENSURE THAT FIRST MAIN LATERAL ROOT IS LESS THAN 1" BELOW THE FINAL PLANTING SURFACE.
 - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 - SHRUBS TO SIT ON SUBGRADE.
 - APPLY PELLET WEED PREVENTER PRIOR TO MULCHING.



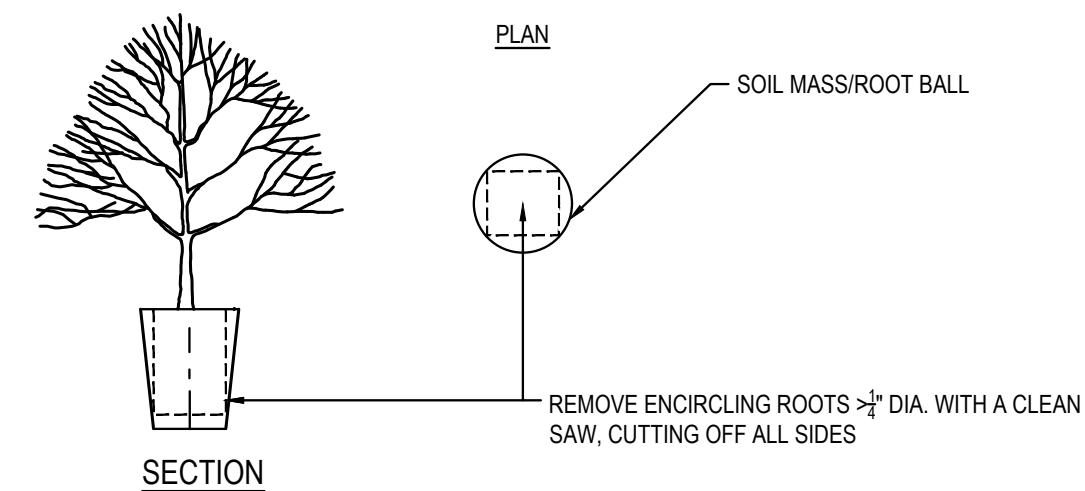
3 SHRUB PLANTING
NOT TO SCALE



NOTE: REFER TO PLAN FOR SPACING.

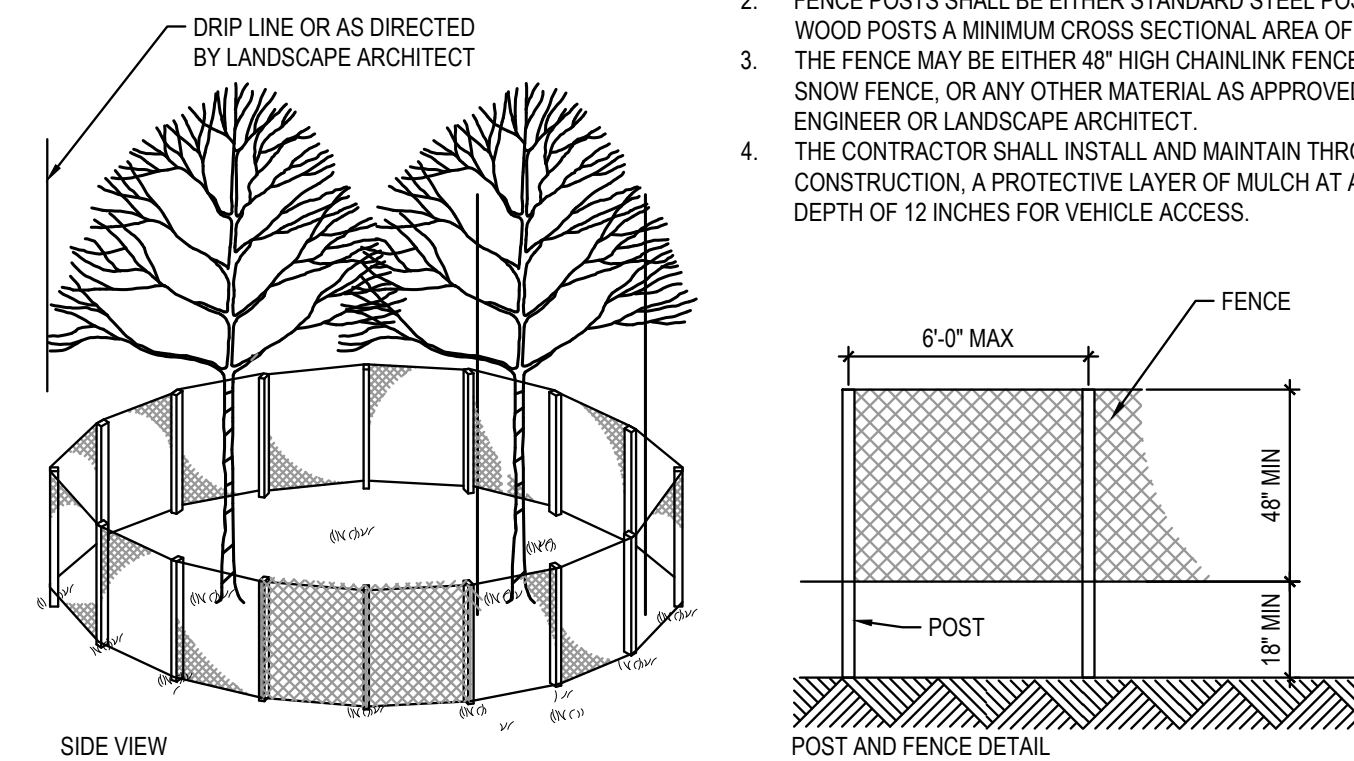


- NOTES:
- FOR TREES, SHRUBS, AND PERENNIALS WITH INORGANIC CONTAINERS, FOLLOW THE "BOXING" PROCEDURE TO REMOVE ENCIRCLING ROOTS.
 - "BOXING" IS ONLY NECESSARY ON THE PLANTS THAT HAVE ENCIRCLING ROOTS WITH DIAMETERS GREATER THAN 3/4"
 - HAND LOOSENING OF ROOTS IS STILL NECESSARY AFTER "BOXING" THE ROOT BALL (TYPICAL).

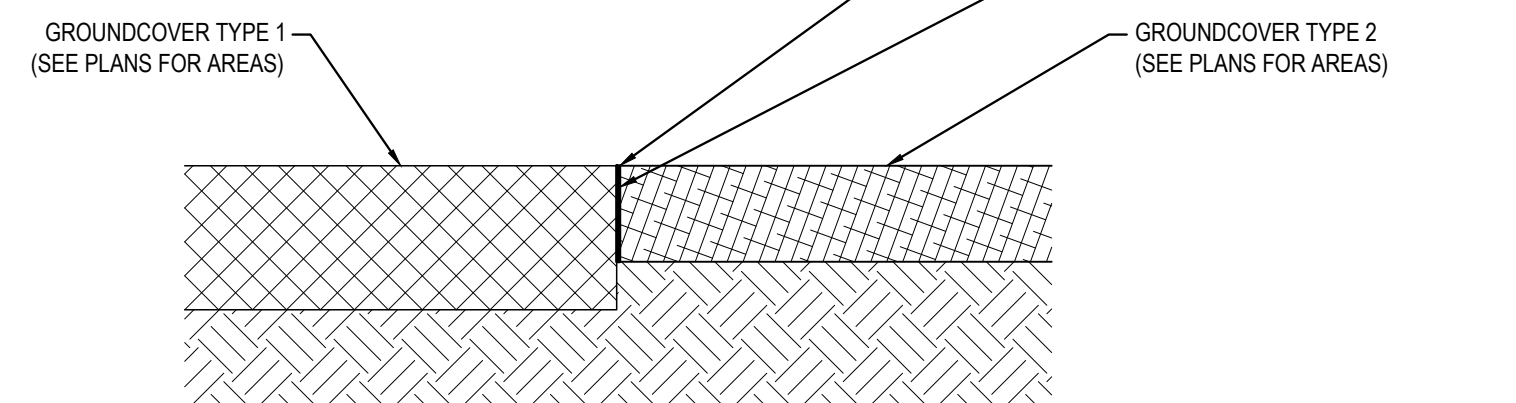


5 BOXING PROCEDURE FOR CONTAINERIZED PLANTS
NOT TO SCALE

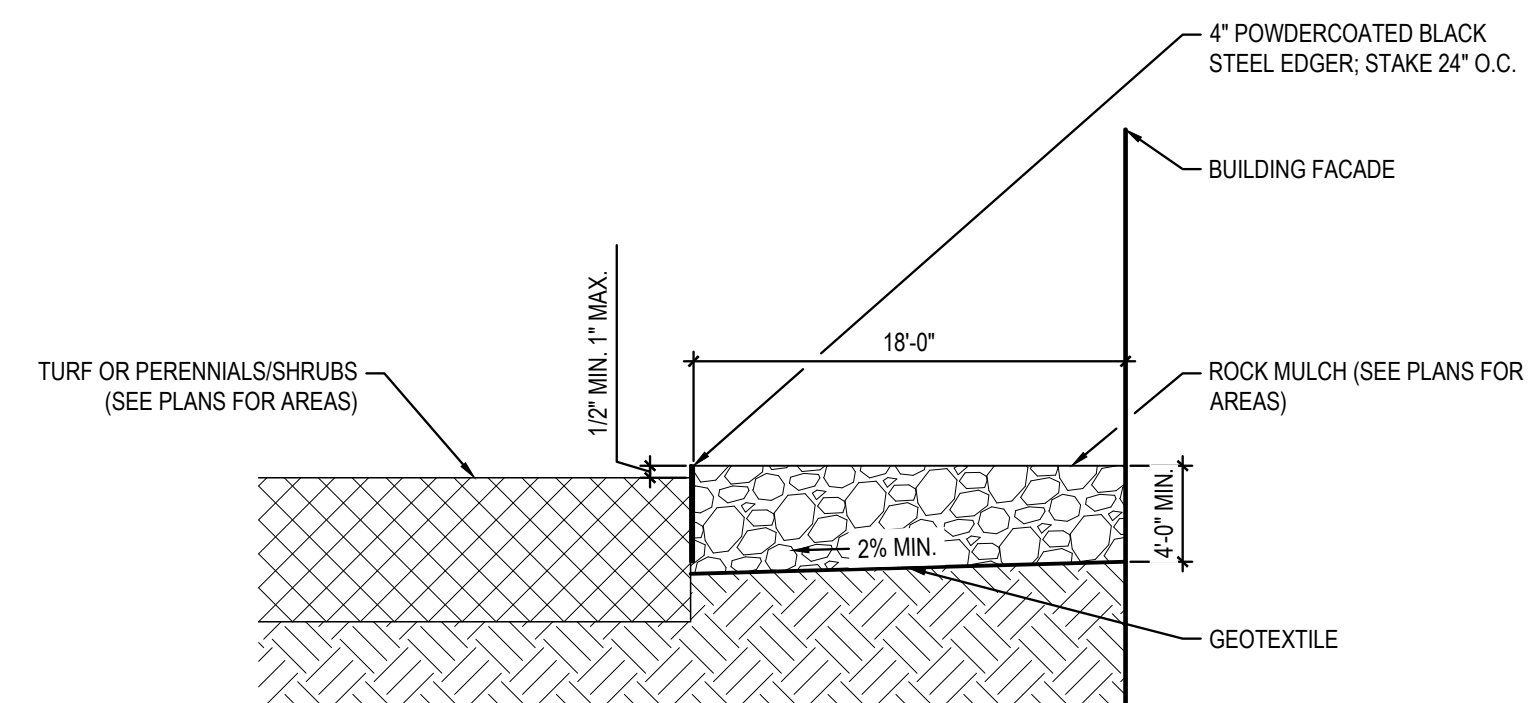
- NOTES:
- THE FENCE SHALL BE LOCATED AT THE DRIP LINE OF THE TREE TO BE SAVED.
 - FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN. THE FENCE MAY BE EITHER 48" HIGH CHAINLINK FENCE, 48" HIGH SNOW FENCE, OR ANY OTHER MATERIAL AS APPROVED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT CONSTRUCTION, A PROTECTIVE LAYER OF MULCH AT A MINIMUM DEPTH OF 12 INCHES FOR VEHICLE ACCESS.



6 TREE PROTECTION
NOT TO SCALE



7 STEEL EDGER
SCALE: 1-1/2" = 1"



8 ROCK MULCH MAINTENANCE EDGER
SCALE: 1-1/2" = 1"

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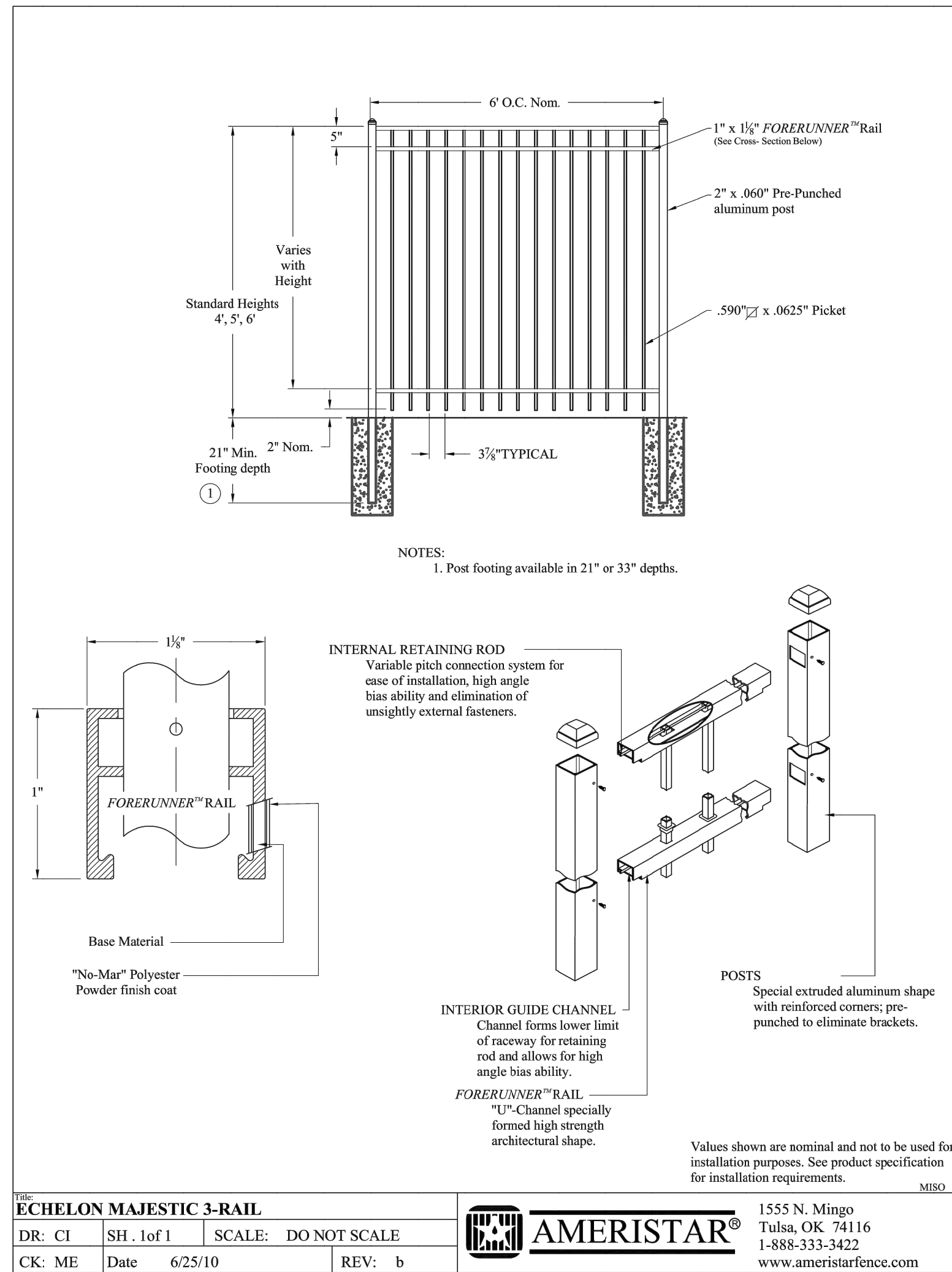
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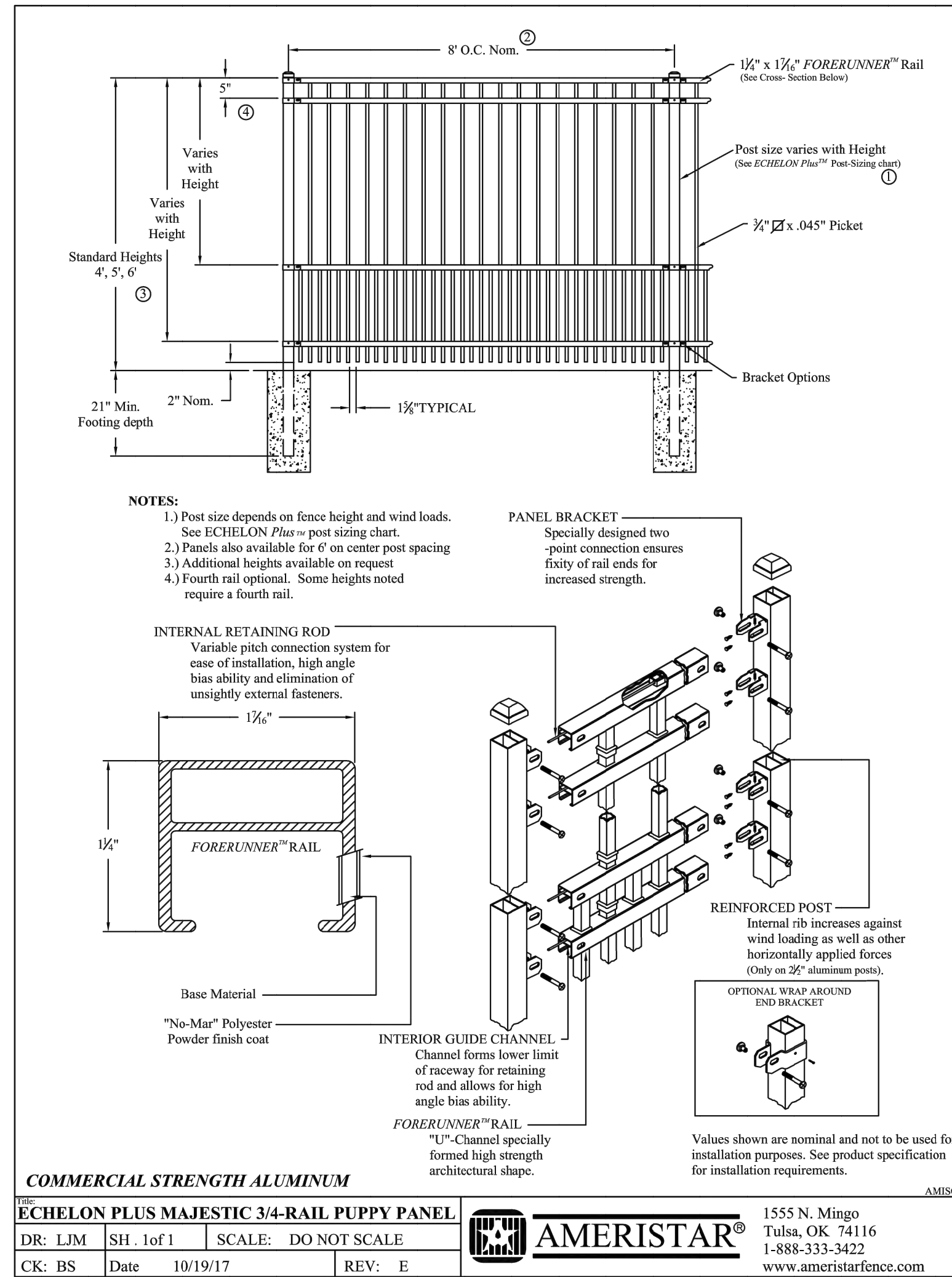
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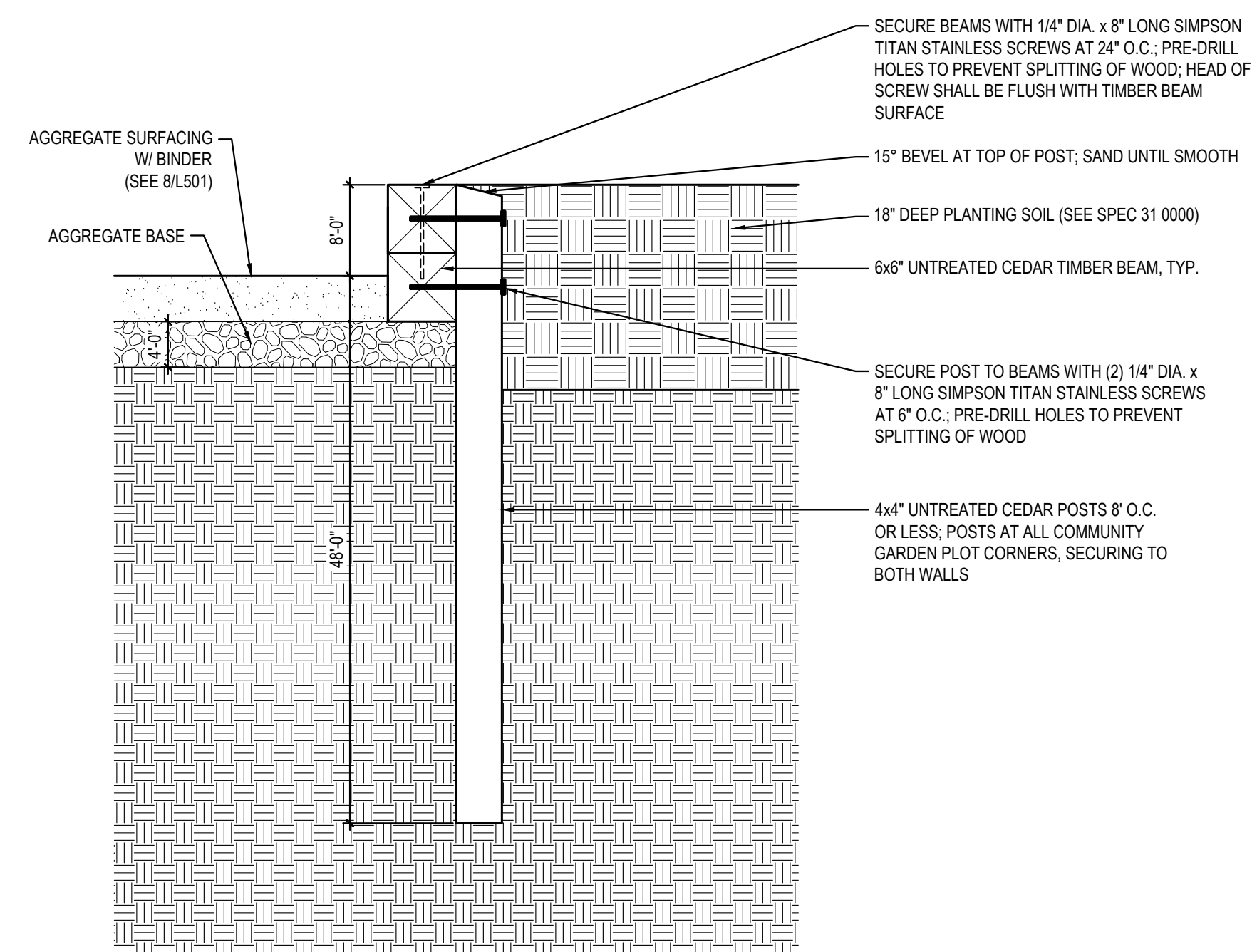
L501



1 ORNAMENTAL FENCE
 NOT TO SCALE



2 ORNAMENTAL FENCE WITH PUPPY PANEL
 NOT TO SCALE



3 GARDEN PLOT
 NOT TO SCALE

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LANDSCAPE DETAILS

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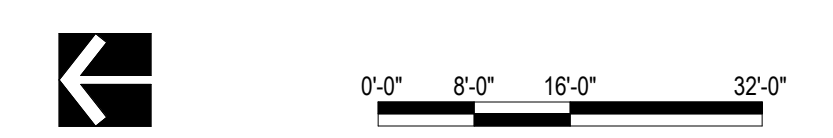
- Unit Types**
- 1BR
 - 2BR
 - 3BR
 - CIRCULATION
 - COMMON
 - MECH./ELEC.
 - PARKING
 - S

1 LEVEL 0 FLOOR PLAN
1/16" = 1'-0"

| UNIT TYPES AND DATA - EXISTING BUILDING | | | | | | | | | |
|---|-------------|----|-----------|---------|---------|---------|-------|-----------------|---------------------|
| UNIT NAME | DESCRIPTION | | | LEVEL 0 | LEVEL 1 | LEVEL 2 | TOTAL | UNIT AREA (GSF) | COMBINED AREA (GSF) |
| | BA | BR | ACC. TYPE | | | | | | |
| 1 BEDROOM | | | | | | | | | |
| E-1BR - A | 1 | 1 | B | 1 | 0 | 0 | 1 | 680 SF | 680 SF |
| E-1BR - B | 1 | 1 | B | 1 | 1 | 1 | 3 | 990 SF | 1,770 SF |
| E-1BR - C | 1 | 1 | B | 0 | 1 | 0 | 1 | 620 SF | 620 SF |
| | | | | 2 | 2 | 1 | 5 | | 3,070 SF |
| 2 BEDROOM | | | | | | | | | |
| E-2BR - A | 1 | 2 | B | 1 | 1 | 1 | 3 | 1,000 SF | 3,000 SF |
| E-2BR - B | 1 | 2 | B | 2 | 2 | 2 | 6 | 870 SF | 5,220 SF |
| E-2BR - C | 1 | 2 | B | 2 | 2 | 2 | 6 | 860 SF | 5,280 SF |
| E-2BR - D | 1 | 2 | B | 2 | 0 | 0 | 2 | 1,080 SF | 2,160 SF |
| E-2BR - E | 1 | 2 | B | 0 | 2 | 0 | 2 | 950 SF | 1,900 SF |
| E-2BR - F | 1 | 2 | A | 0 | 2 | 2 | 4 | 930 SF | 3,720 SF |
| E-2BR - G | 1 | 2 | B | 0 | 1 | 0 | 1 | 780 SF | 780 SF |
| E-2BR - H | 1 | 2 | B | 0 | 0 | 2 | 2 | 970 SF | 1,940 SF |
| | | | | 7 | 10 | 9 | 26 | | 24,000 SF |
| 3 BEDROOM | | | | | | | | | |
| E-3BR - A | 1 | 3 | B | 2 | 2 | 2 | 6 | 1,010 SF | 6,060 SF |
| E-3BR - B | 1 | 3 | B | 1 | 1 | 1 | 3 | 1,065 SF | 3,195 SF |
| E-3BR - C | 1 | 3 | B | 0 | 0 | 1 | 1 | 1,075 SF | 1,075 SF |
| | | | | 3 | 3 | 4 | 10 | | 10,330 SF |
| | | | | 12 | 15 | 14 | 41 | | 37,400 SF |

| UNIT TYPES AND DATA - NEW ADDITION | | | | | | | | | |
|------------------------------------|-------------|----|-----------|---------|---------|---------|-------|-----------------|---------------------|
| UNIT NAME | DESCRIPTION | | | LEVEL 1 | LEVEL 2 | LEVEL 3 | TOTAL | UNIT AREA (GSF) | COMBINED AREA (GSF) |
| | BA | BR | ACC. TYPE | | | | | | |
| 1 BEDROOM | | | | | | | | | |
| 1BR-1 | 1 | 1 | B | 1 | 1 | 1 | 3 | 635 SF | 1,905 SF |
| 1BR-2 (TYPE 'A') | 1 | 1 | A | 0 | 1 | 1 | 2 | 710 SF | 1,420 SF |
| 1BR-3 | 1 | 1 | B | 1 | 1 | 1 | 3 | 595 SF | 1,785 SF |
| | | | | 2 | 3 | 3 | 8 | | 5,110 SF |
| 2 BEDROOM | | | | | | | | | |
| 2BR-1 | 1 | 2 | B | 2 | 2 | 2 | 6 | 890 SF | 5,340 SF |
| 2BR-2 | 1 | 2 | B | 1 | 1 | 1 | 3 | 855 SF | 2,655 SF |
| 2BR-3 | 1 | 2 | B | 2 | 2 | 2 | 6 | 890 SF | 5,340 SF |
| 2BR-4 | 1 | 2 | B | 1 | 1 | 1 | 3 | 915 SF | 2,745 SF |
| 2BR-5 | 1 | 2 | B | 1 | 1 | 1 | 3 | 815 SF | 2,445 SF |
| 2BR-6 | 1 | 2 | A | 0 | 1 | 1 | 2 | 885 SF | 1,770 SF |
| | | | | 7 | 8 | 8 | 23 | | 20,295 SF |
| 3 BEDROOM | | | | | | | | | |
| 3BR-1 (TYPE 'A') | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,100 SF | 3,300 SF |
| 3BR-2 | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,085 SF | 3,255 SF |
| 3BR-3 | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,070 SF | 3,210 SF |
| | | | | 3 | 3 | 3 | 9 | | 9,765 SF |
| | | | | 12 | 14 | 14 | 40 | | 35,170 SF |

BUILDING AREA
EXISTING: 42,484
NEW: 48,511
TOTAL: 90,995



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ST PAUL, MN 55116

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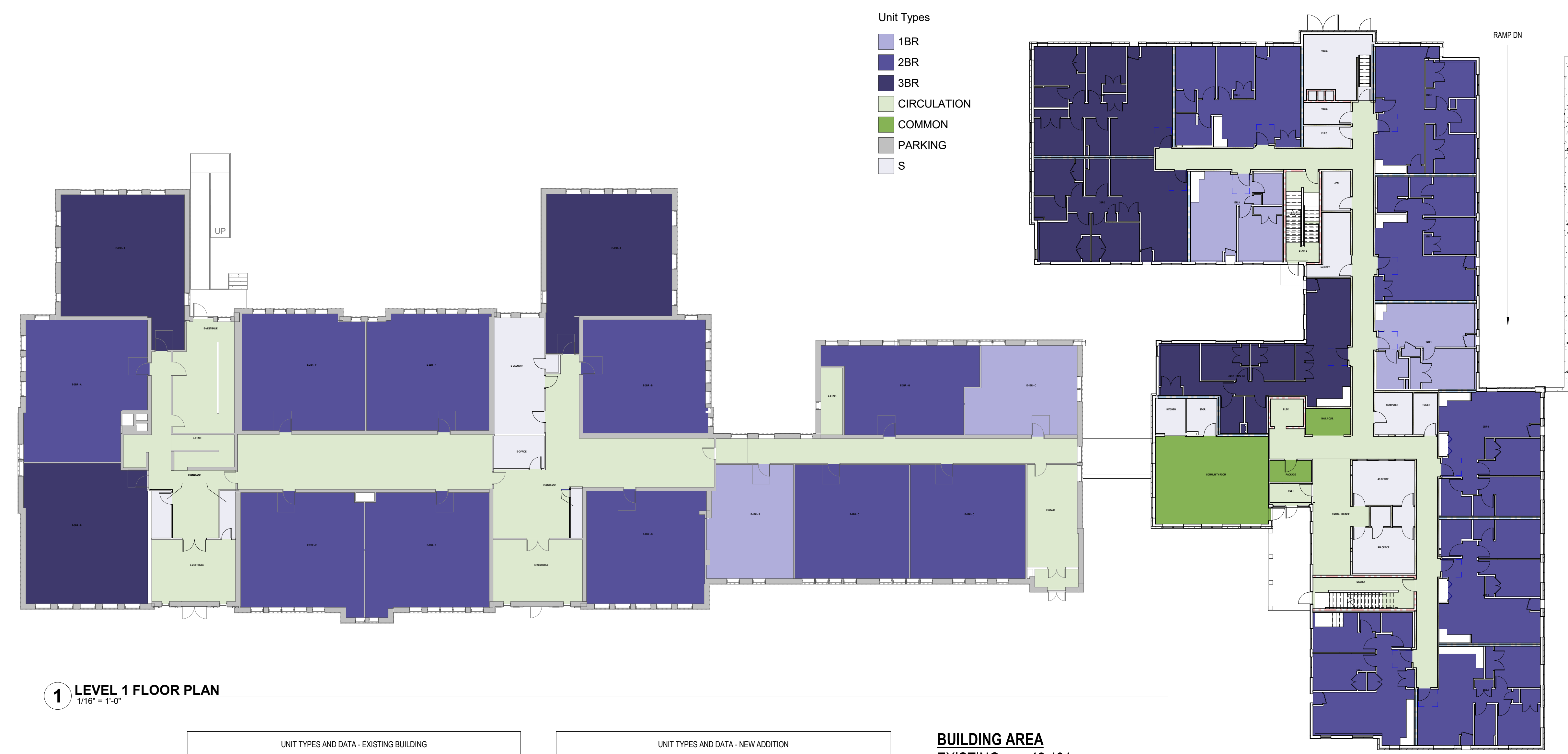
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PROJECT NAME:
WHITTIER COMMUNITY HOUSING
2609 BLAISDELL AVE S
MINNEAPOLIS, MN 55408
DRAWING TITLE:
LEVEL 0 PLAN

FILE: FILE PATH
DRAWN BY: Author
CHECKED BY: Checker
PRJ. NO.: 180586
DRAWING NO.:

A10

BIM 360://180588 Common Bond Whittier Site Assessment/180588 Whittier Apartments A20.rvt
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1 LEVEL 1 FLOOR PLAN
1/16" = 1'-0"

| UNIT TYPES AND DATA - EXISTING BUILDING | | | | | | | | | |
|---|-------------|----|-----------|---------|---------|---------|-------|-----------------|---------------------|
| UNIT NAME | DESCRIPTION | | | LEVEL 0 | LEVEL 1 | LEVEL 2 | TOTAL | UNIT AREA (GSF) | COMBINED AREA (GSF) |
| | BA | BR | ACC. TYPE | | | | | | |
| 1 BEDROOM | | | | | | | | | |
| E-1BR - A | 1 | 1 | B | 1 | 0 | 0 | 1 | 680 SF | 680 SF |
| E-1BR - B | 1 | 1 | B | 1 | 1 | 1 | 3 | 590 SF | 1,770 SF |
| E-1BR - C | 1 | 1 | B | 0 | 1 | 0 | 1 | 620 SF | 620 SF |
| | | | | 2 | 2 | 1 | 5 | | 3,070 SF |
| 2 BEDROOM | | | | | | | | | |
| E-2BR - A | 1 | 2 | B | 1 | 1 | 1 | 3 | 1,000 SF | 3,000 SF |
| E-2BR - B | 1 | 2 | B | 2 | 2 | 2 | 6 | 870 SF | 5,220 SF |
| E-2BR - C | 1 | 2 | B | 2 | 2 | 2 | 6 | 880 SF | 5,280 SF |
| E-2BR - D | 1 | 2 | B | 2 | 0 | 0 | 2 | 1,080 SF | 2,160 SF |
| E-2BR - E | 1 | 2 | B | 0 | 2 | 0 | 2 | 950 SF | 1,900 SF |
| E-2BR - F | 1 | 2 | A | 0 | 2 | 2 | 4 | 930 SF | 3,720 SF |
| E-2BR - G | 1 | 2 | B | 0 | 1 | 0 | 1 | 780 SF | 780 SF |
| E-2BR - H | 1 | 2 | B | 0 | 2 | 2 | 4 | 970 SF | 1,940 SF |
| | | | | 7 | 10 | 9 | 26 | | 24,000 SF |
| 3 BEDROOM | | | | | | | | | |
| E-3BR - A | 1 | 3 | B | 2 | 2 | 2 | 6 | 1,010 SF | 6,060 SF |
| E-3BR - B | 1 | 3 | B | 1 | 1 | 1 | 3 | 1,065 SF | 3,195 SF |
| E-3BR - C | 1 | 3 | B | 0 | 0 | 1 | 1 | 1,075 SF | 1,075 SF |
| | | | | 3 | 3 | 4 | 10 | | 10,330 SF |
| | | | | 12 | 15 | 14 | 41 | | 37,400 SF |

| UNIT TYPES AND DATA - NEW ADDITION | | | | | | | | | |
|------------------------------------|-------------|----|-----------|---------|---------|---------|-------|-----------------|---------------------|
| UNIT NAME | DESCRIPTION | | | LEVEL 1 | LEVEL 2 | LEVEL 3 | TOTAL | UNIT AREA (GSF) | COMBINED AREA (GSF) |
| | BA | BR | ACC. TYPE | | | | | | |
| 1 BEDROOM | | | | | | | | | |
| 1BR-1 | 1 | 1 | B | 1 | 1 | 1 | 3 | 635 SF | 1,905 SF |
| 1BR-2 (TYPE 'A') | 1 | 1 | A | 0 | 1 | 1 | 2 | 710 SF | 1,420 SF |
| 1BR-3 | 1 | 1 | B | 1 | 1 | 1 | 3 | 595 SF | 1,785 SF |
| | | | | 2 | 3 | 3 | 8 | | 5,110 SF |
| 2 BEDROOM | | | | | | | | | |
| 2BR-1 | 1 | 2 | B | 2 | 2 | 2 | 6 | 890 SF | 5,340 SF |
| 2BR-2 | 1 | 2 | B | 1 | 1 | 1 | 3 | 885 SF | 2,655 SF |
| 2BR-3 | 1 | 2 | B | 2 | 2 | 2 | 6 | 890 SF | 5,340 SF |
| 2BR-4 | 1 | 2 | B | 1 | 1 | 1 | 3 | 915 SF | 2,745 SF |
| 2BR-5 | 1 | 2 | B | 1 | 1 | 1 | 3 | 815 SF | 2,445 SF |
| 2BR-6 | 1 | 2 | A | 0 | 1 | 1 | 2 | 885 SF | 1,770 SF |
| | | | | 7 | 8 | 8 | 23 | | 20,295 SF |
| 3 BEDROOM | | | | | | | | | |
| 3BR-1 (TYPE 'A') | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,100 SF | 3,300 SF |
| 3BR-2 | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,085 SF | 3,255 SF |
| 3BR-3 | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,070 SF | 3,210 SF |
| | | | | 3 | 3 | 3 | 9 | | 9,765 SF |
| | | | | 12 | 14 | 14 | 40 | | 35,170 SF |

BUILDING AREA
 EXISTING: 42,484
 NEW: 48,511
 TOTAL: 90,995

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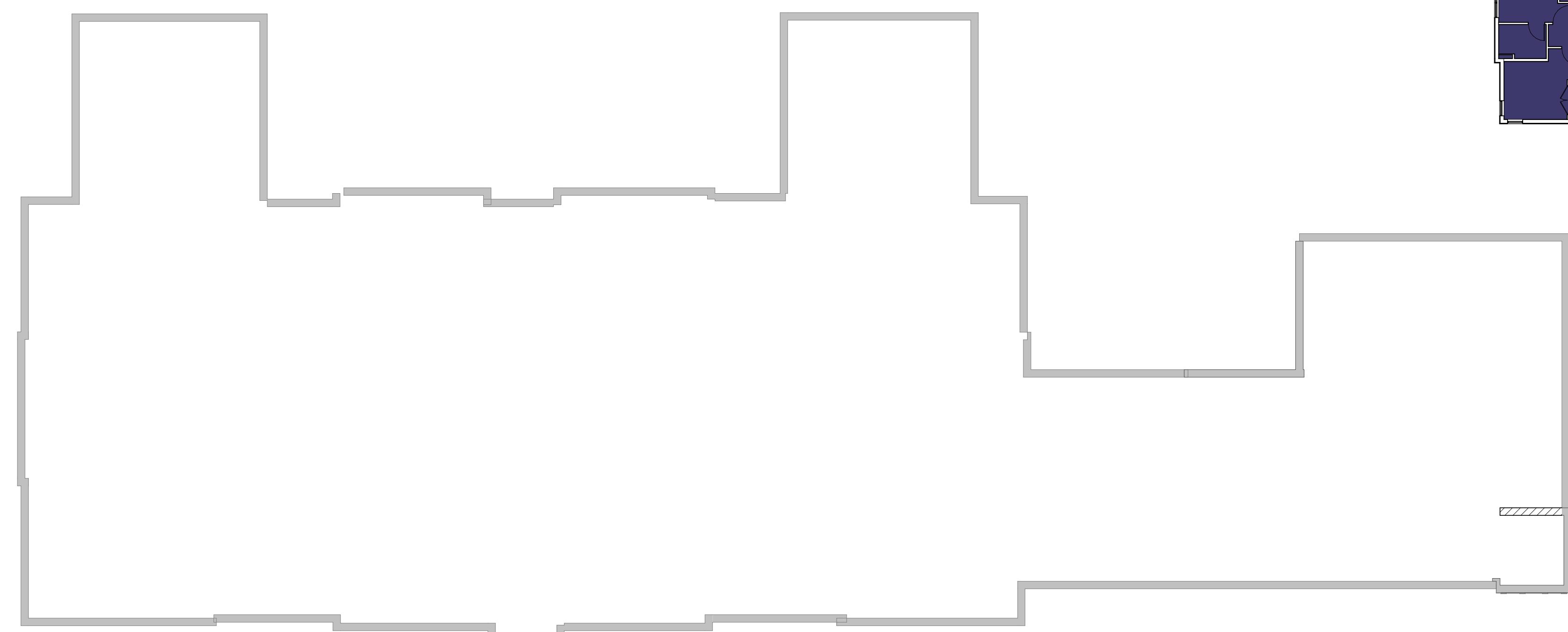
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 MINNEAPOLIS, MN 55408

DRAWING TITLE:
LEVEL 1 PLAN

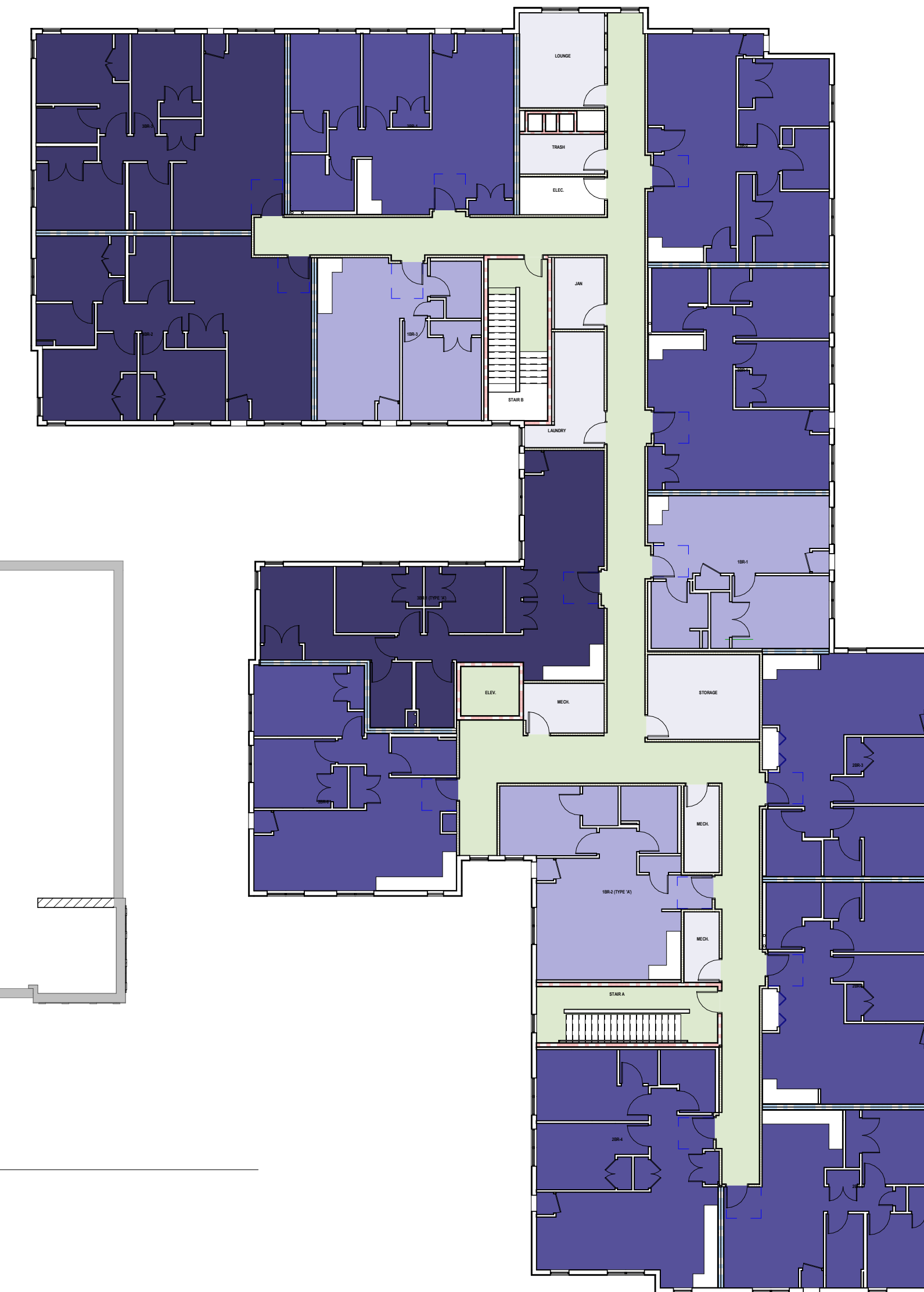
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A11

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- Unit Types
- 1BR
 - 2BR
 - 3BR
 - CIRCULATION
 - S



1 LEVEL 3 FLOOR PLAN
1/16" = 1'-0"

| UNIT TYPES AND DATA - EXISTING BUILDING | | | | | | | | | |
|---|-------------|----|-----------|---------|---------|---------|-------|-----------------|---------------------|
| UNIT NAME | DESCRIPTION | | | LEVEL 0 | LEVEL 1 | LEVEL 2 | TOTAL | UNIT AREA (GSF) | COMBINED AREA (GSF) |
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| | | | | 7 | 10 | 9 | 26 | | 24,000 SF |
| 3 BEDROOM | | | | | | | | | |
| E-3BR - A | 1 | 3 | B | 2 | 2 | 2 | 6 | 1,010 SF | 6,060 SF |
| E-3BR - B | 1 | 3 | B | 1 | 1 | 1 | 3 | 1,065 SF | 3,195 SF |
| E-3BR - C | 1 | 3 | B | 0 | 0 | 1 | 1 | 1,075 SF | 1,075 SF |
| | | | | 3 | 3 | 4 | 10 | | 10,330 SF |
| | | | | 12 | 15 | 14 | 41 | | 37,400 SF |

| UNIT TYPES AND DATA - NEW ADDITION | | | | | | | | | |
|------------------------------------|-------------|----|-----------|---------|---------|---------|-------|-----------------|---------------------|
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| | | | | 2 | 3 | 3 | 8 | | 5,110 SF |
| 2 BEDROOM | | | | | | | | | |
| 2BR-1 | 1 | 2 | B | 2 | 2 | 2 | 6 | 890 SF | 5,340 SF |
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| | | | | 7 | 8 | 8 | 23 | | 20,295 SF |
| 3 BEDROOM | | | | | | | | | |
| 3BR-1 (TYPE 'A') | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,100 SF | 3,300 SF |
| 3BR-2 | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,085 SF | 3,255 SF |
| 3BR-3 | 2 | 3 | B | 1 | 1 | 1 | 3 | 1,070 SF | 3,210 SF |
| | | | | 3 | 3 | 3 | 9 | | 9,765 SF |
| | | | | 12 | 14 | 14 | 40 | | 35,170 SF |

BUILDING AREA
EXISTING: 42,484
NEW: 48,511
TOTAL: 90,995



0'-0" 8'-0" 16'-0" 32'-0"

CITY OF MINNEAPOLIS STAMP



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CLIENT:

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DRAWING TITLE:

LEVEL 3 PLAN - NEW ONLY

FILE: FILE PATH

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PRJ. NO.: 180586

DRAWING NO.:

A13

D



WEST ELEVATION

0' 8' 16'

EXTERIOR ELEVATION KEY

- B1 BRICK (MODULAR)
- BCD BRICK COURSING DETAIL
- C1 CORNICE 1 (PREFINISHED SHEET METAL)
- C2 CORNICE 2 (PREFINISHED SHEET METAL)
- CONC1 CONCRETE
- EC1 ENTRANCE CANOPY (FABRICATED STEEL)
- ML1 COLOR-MATCHED LOUVER
- MP1 PREFINISHED METAL PANEL
- OHD OVERHEAD DOOR

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PROJECT NAME:
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DRAWING TITLE:
Color Elevations - New Addition

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A20

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B



SOUTH ELEVATION

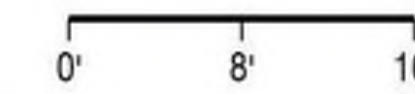
0' 8' 16'

A

1 2 3 4 5



EAST ELEVATION



EXTERIOR ELEVATION KEY

- B1 BRICK (MODULAR)
- BCD BRICK COURSING DETAIL
- C1 CORNICE 1 (PREFINISHED SHEET METAL)
- C2 CORNICE 2 (PREFINISHED SHEET METAL)
- CONC1 CONCRETE
- EC1 ENTRANCE CANOPY (FABRICATED STEEL)
- ML1 COLOR-MATCHED LOUVER
- MP1 PREFINISHED METAL PANEL
- OHD OVERHEAD DOOR

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DRAWING TITLE:
Color Elevations - New Addition

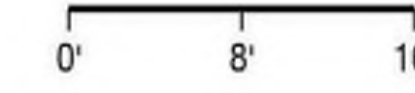
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NORTH ELEVATION



MATERIAL CALCULATIONS PER BUILDING FACADE

| | NORTH ELEVATION | | SOUTH ELEVATION | | EAST ELEVATION | | WEST ELEVATION | | TOTAL | |
|--------------------|-----------------|------------|-----------------|------------|----------------|------------|----------------|------------|-------|------------|
| | AREA | PERCENTAGE | AREA | PERCENTAGE | AREA | PERCENTAGE | AREA | PERCENTAGE | AREA | PERCENTAGE |
| BRICK | 1460 | 25.34% | 1566 | 26.31% | 2305 | 38.94% | 1316 | 24.11% | 6647 | 28.78% |
| METAL PANEL | 3772 | 65.47% | 3414 | 57.35% | 2625 | 44.34% | 3640 | 66.68% | 13451 | 58.25% |
| GLAZING | 220 | 3.82% | 187 | 3.14% | 207 | 3.50% | 258 | 4.73% | 872 | 3.78% |
| CONCRETE | 309 | 5.36% | 786 | 13.20% | 783 | 13.23% | 245 | 4.49% | 2123 | 9.19% |

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PROJECT NAME:
WHITTIER COMMUNITY HOUSING
2609 BLAISDELL AVE S
MINNEAPOLIS, MN 55408

DRAWING TITLE:
Building Exterior Materials

FILE: FILE PATH
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PRJ NO: 180586
DRAWING NO:

A22



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PHOTOS NEW BUILDING SITE EXISTING CONDITIONS



Existing Yard Facing Alley Looking SE



Existing Playground



New Building Site Looking SE



New Building Site Looking SW at Adjacent Building



New Building Site Looking SW



New Building Site Looking West



New Building Site Looking NW



Housing Across Blaisdell and Sidewalk to Existing Southern Entrance

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PROJECT NAME:
**WHITTIER COMMUNITY
HOUSING**

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**Photos - Site Existing
Conditions**

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PHOTOS SITE CONTEXT



Existing Front Yard Looking N Along Blaisdell Near Existing Southern Most Entrance to Building



Front of Existing Building Looking North



Existing Front Yard Looking NW Along Blaisdell



Existing Front Yard Looking South Along Blaisdell



Existing Parking Lot Entry/Entrance to Alley From 26th Street



Existing Parking Lot Looking NW



Alley Looking North to 26th Street



Alley Looking South to 27th Street

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Photos - Site Existing Conditions

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